

Memorandum to the City of Markham Committee of Adjustment

December 3, 2025

File: A/084/25
Address: 76 Highland Park Boulevard, Thornhill
Agent: Aleksandar Markovic
Hearing Date: Wednesday, December 10, 2025

The following comments are provided on behalf of the West Team:

The applicant is requesting relief from the following requirements of By-law 2024-19, Residential - Established Neighbourhood Low Rise (RES-ENLR), as amended, to permit:

a) By-law 2024-19, Section 6.3.2.2.1:

a minimum west side yard setback of 1.84 m and a minimum combined interior side yard setback on both sides of 3.68 m, whereas the by-law requires a minimum side yard setback of 1.8 m and a minimum combined interior side yard setback on both sides of 4.0 m;

b) By-law 2024-19, Section 6.2.1b):

a maximum roof projection of 2.54 m above the maximum outside wall height, whereas the by-law permits a roof structure with a pitch of less than 25 degrees to project a maximum of 1 m above the maximum outside wall height;

c) By-law 2024-19, Section 6.3.2.2.c:

a maximum main building coverage of 21.4% for any storey above the first, whereas the by-law permits a maximum main building coverage of 20% for any storey above the first;

as it relates to a proposed two-storey residential dwelling.

BACKGROUND

This application was deferred sine die by the Committee of Adjustment at the September 10, 2025 meeting, to revise the variances by increasing the side yard setback and reducing the second-floor coverage.

The applicant has not conducted another Housing Review cycle for the revised drawings. Consequently, it is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The applicant submitted revisions on October 22, 2025, including the increased west side and combined side yard setback and reducing the second storey coverage variance. All other variances remain unchanged from the initial submission (Refer to Staff Report – Appendix "D").

Reduced Side Yard Setback Variance

The Owner is requesting to permit a minimum west side yard setback of 1.84 m and a minimum combined interior side yard setback on both sides of 3.68 m, whereas the by-law requires a minimum side yard setback of 1.8 m and a minimum combined interior side yard setback on both sides of 4.0 m for the two-storey portion of the dwelling.

The proposed revision is to ensure that an appropriate west side yard and combined side yard setback are provided for on the Subject Property. Though the revisions, the Owner has provided a compliant interior side yard setback, as the requested variance exceeds the required setback in the by-law of 1.8m. The combined setback is still required to build the new dwelling. The combined setback represents a 0.32 m decrease from the by-law, but provides enough space on both sides for adequate stormwater drainage and fire safety access. After reviewing the revised plans, Staff maintain the opinion that the requested variance is minor in nature and will not have an adverse impact on the neighbouring property.

Increase in Main Building Coverage Variance

The Owner is requesting to permit a main building coverage of 21.4% for the second storey, whereas the by-law permits a maximum main building coverage of 20%. This represents a 2.6% decrease from the initial variance, which requested a second storey coverage of 24%.

After reviewing the revised plans, Staff maintain the opinion that the requested variance is minor in nature, represents appropriate massing for the streetscape, and have no concerns.

PUBLIC INPUT SUMMARY

No written submissions were received as of December 2, 2025. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Theo Ako-Manieson, Planner I, West District

REVIEWED BY:



Rick Cefaratti, MCIP, RPP, Acting-Development Manager, West District

File Path: Amanda\File\ 25 125637 \Documents\District Team Comments Memo

APPENDICIES

Appendix "A" – A/084/25 Conditions of Approval

Appendix "B" – Drawings

Appendix "C" - Staff Report Dated September 5, 2025

Appendix "D" – Extract from September 10, 2025 Committee of Adjustment Meeting Minutes

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/084/25

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, and that the Secretary Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction;

CONDITIONS PREPARED BY:



Theo Ako-Manieson, Planner I, West District

Appendix B

File: 25-0007-000-000-000

Date: **12/3/2025**
MM/DD/YYYY



ALEKSANDAR V. MARKOVIC

Architecture, Interiors

1 Valley Woods Rd., North York, Ontario M3A 2R4
Cell: (647) 838.0781 Email: a.v.m.design@sympatico.ca

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT. THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED. THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER. ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO FABRICATION, INSTALLATION OR COMMENCING WITH WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION. DO NOT SCALE THE DRAWINGS.

Issued _____
ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE, CONSENT

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the Requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1. of the Ontario Building Code
LILIANA MARKOVIC 33107 BCDN #
Name: *Liliana Markovic*
Signature: *Aleksandar V. Markovic* 34372 BCDN#
Aleksandar V. Markovic
Practice Name

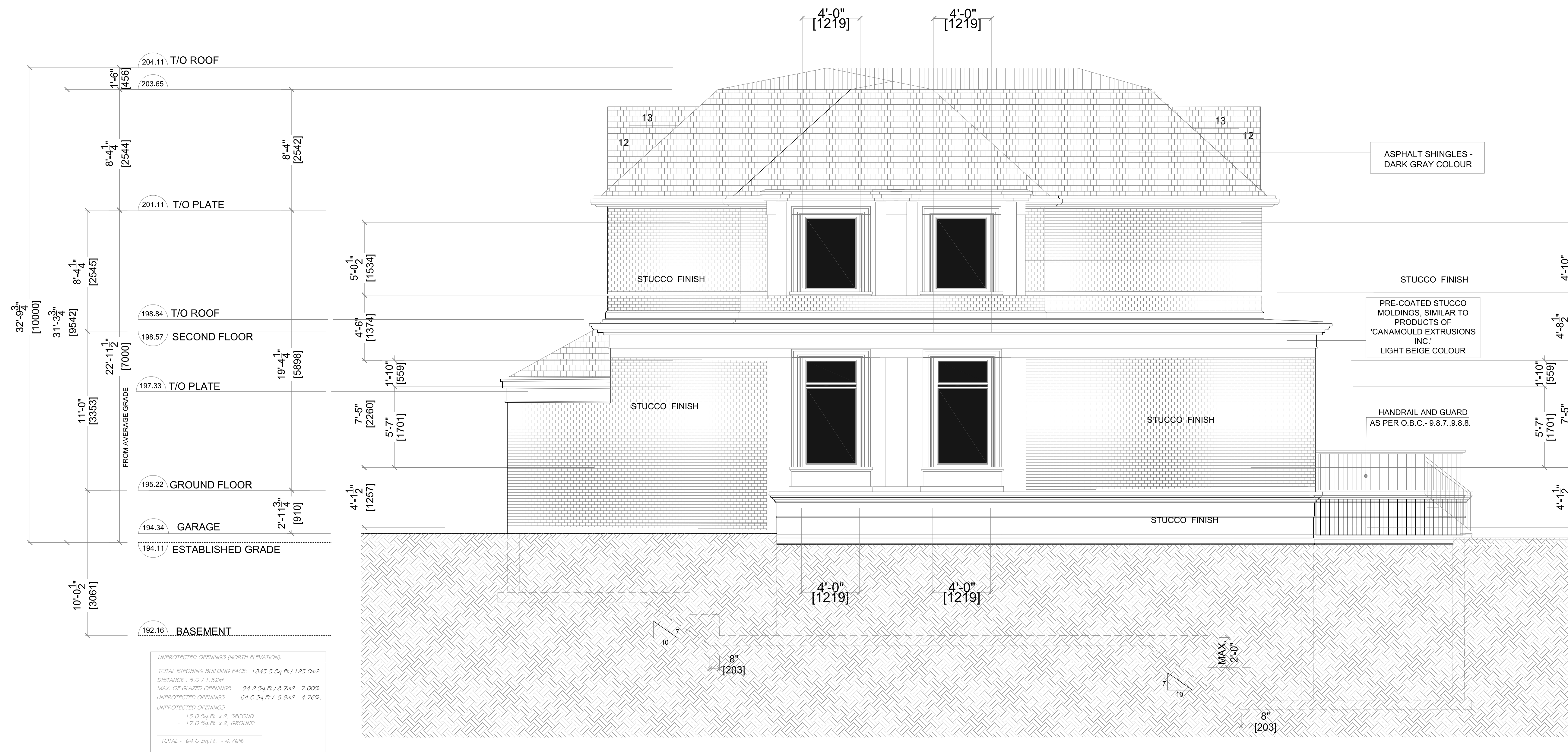
NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	MAY, 2025.

Client _____
Hua Lin
Yuan Chen
Project Name and Address _____
PROPOSED 2 STOREY DWELLING

76 Highland Park Blvd.,
Markham, ON, L3T 1B5

Drawing Title _____
EAST ELEVATION

Checked by _____
A.M.
Scale _____
AS NOTED
Drawing/Sheet No. _____
A2.4
Project No: _____
25-01



UNPROTECTED OPENINGS (NORTH ELEVATION):
TOTAL EXPOSING BUILDING FACE: 1,345.5 Sq.Ft./ 125.0m²
DISTANCE: 5.0' / 1.52m
MAX. OF GLAZED OPENINGS: - 94.2 Sq.Ft./ 8.7m² - 7.00%
UNPROTECTED OPENINGS: - 64.0 Sq.Ft./ 5.9m² - 4.76%
UNPROTECTED OPENINGS:
- 15.0 Sq.Ft. x 2, SECOND
- 17.0 Sq.Ft. x 2, GROUND
TOTAL: - 64.0 Sq.Ft. - 4.76%

1 PROPOSED EAST ELEVATION

SCALE: 1'-0" = 1/4"

SCALE: 1 : 50

Appendix B

File: 25-0007-000-0000
 Date: **12/3/2025**
 MM/DD/YYYY

AM
ALEKSANDAR V. MARKOVIC
 Architecture - Interiors
 1 Valley Woods Rd., North York, Ontario M3A 2R4
 Cell: (416) 838.0781 Email: a.v.markovic@sympatico.ca

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REGISTRATION INFORMATION
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 Name: **LJILJANA MARKOVIC** 33107 BCDN #
 Signature: *Aleksandar V. Markovic*
 Practice Name: **Aleksandar V. Markovic** 34372 BCDN #

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	MAY, 2025.

Client _____
Hua Lin
Yuan Chen

Project Name and Address _____
 PROPOSED 2 STOREY DWELLING

76 Highland Park Blvd.,
Markham, ON, L3T 1B5

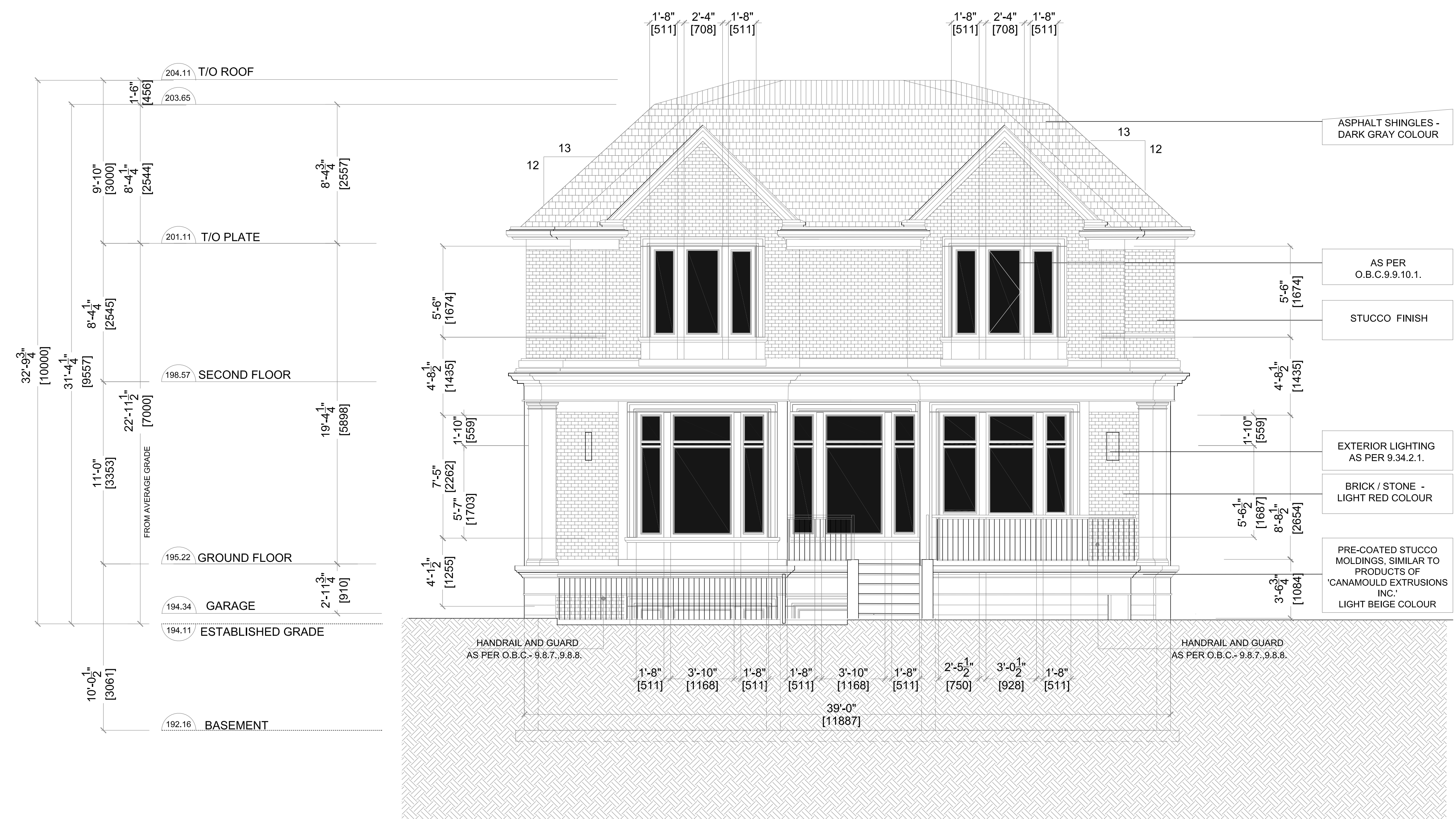
Drawing Title _____
NORTH
ELEVATION

Checked by _____
 A.M.

Scale _____
AS NOTED

Drawing/Sheet No. _____
A2.3

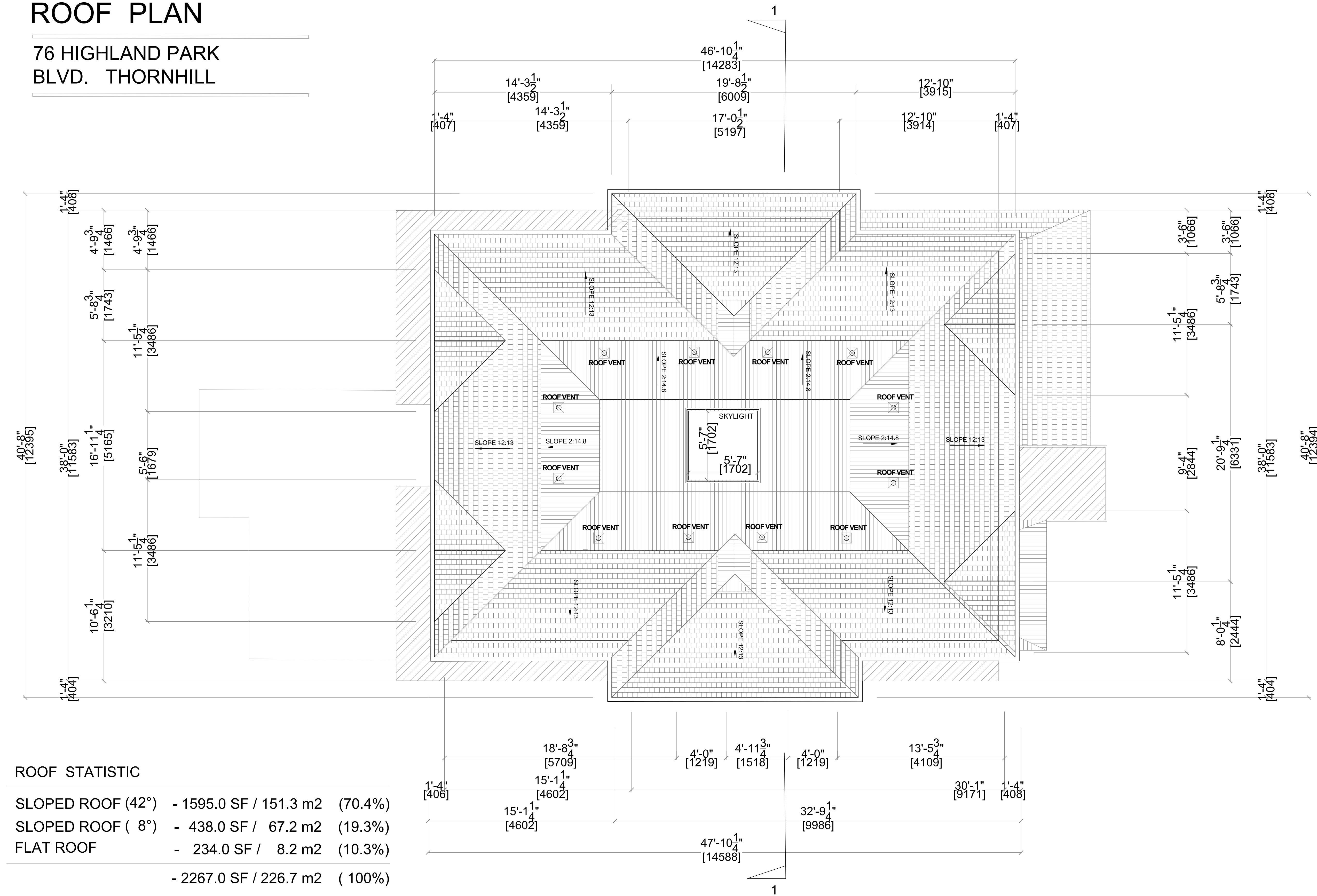
Project No. _____
25-01



1 PROPOSED
NORTH ELEVATION
 SCALE: 1'-0" = 1/4"
 SCALE: 1 : 50

ROOF PLAN

76 HIGHLAND PARK
BLVD. THORNHILL



ROOF STATISTIC

SLOPED ROOF (42°)	- 1595.0 SF / 151.3 m2	(70.4%)
SLOPED ROOF (8°)	- 438.0 SF / 67.2 m2	(19.3%)
FLAT ROOF	- 234.0 SF / 8.2 m2	(10.3%)
	- 2267.0 SF / 226.7 m2	(100%)

4 PROPOSED ROOF PLAN

SCALE: 1'-0" = 1/4"
SCALE: 1 : 50

Appendix B

File: 25-000P-0001.dwg
Date: **12/3/2025**
MM/DD/YYYY



ALEKSANDAR V. MARKOVIC
Architecture, Interior

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Issued _____
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REGISTRATION INFORMATION
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LJILJANA MARKOVIC	33107
Name	BCDN #
Signature	
Aleksandar V. Markovic	34372
Practice Name	BCDN#

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	MAY, 2025.
2		

Client _____
Hua Lin
Yuan Chen
Project Name and Address _____
PROPOSED 2 STOREY DWELLING

76 Highland Park Blvd.,
Markham, ON, L3T 1B5

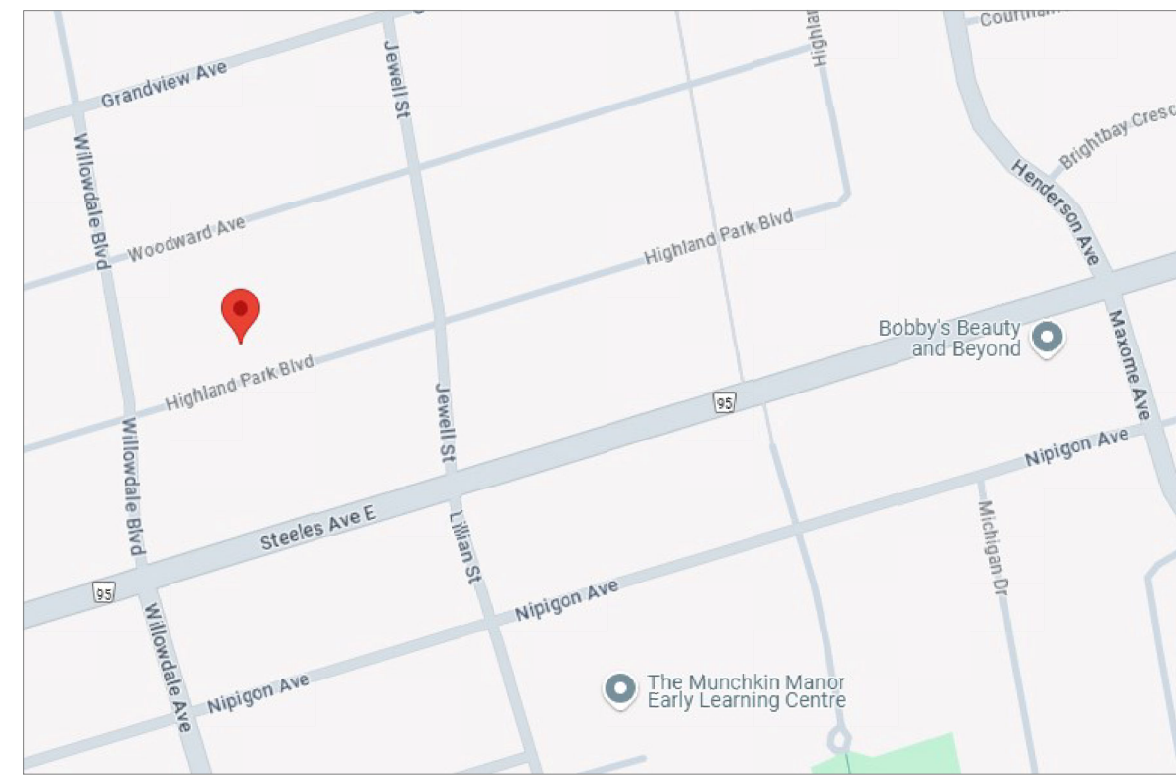
Drawing Title _____

ROOF PLAN

Checked by _____
A.M.
Scale _____
AS NOTED
Drawing/Sheet No. _____
A1.5
Project No. _____
25-01

**ISSUED FOR PERMIT
JANUARY 2025.**

KEY PLAN



ZONING INFO

ZONE - RES-ENLR				
SITE DATA	SQ.FT.	M2		
LOT AREA	7000.00	650.50	100%	
MIN. LOT FRONTAGE	15.24 m'	EXISTING LOT FRONTAGE	15.24 m'	

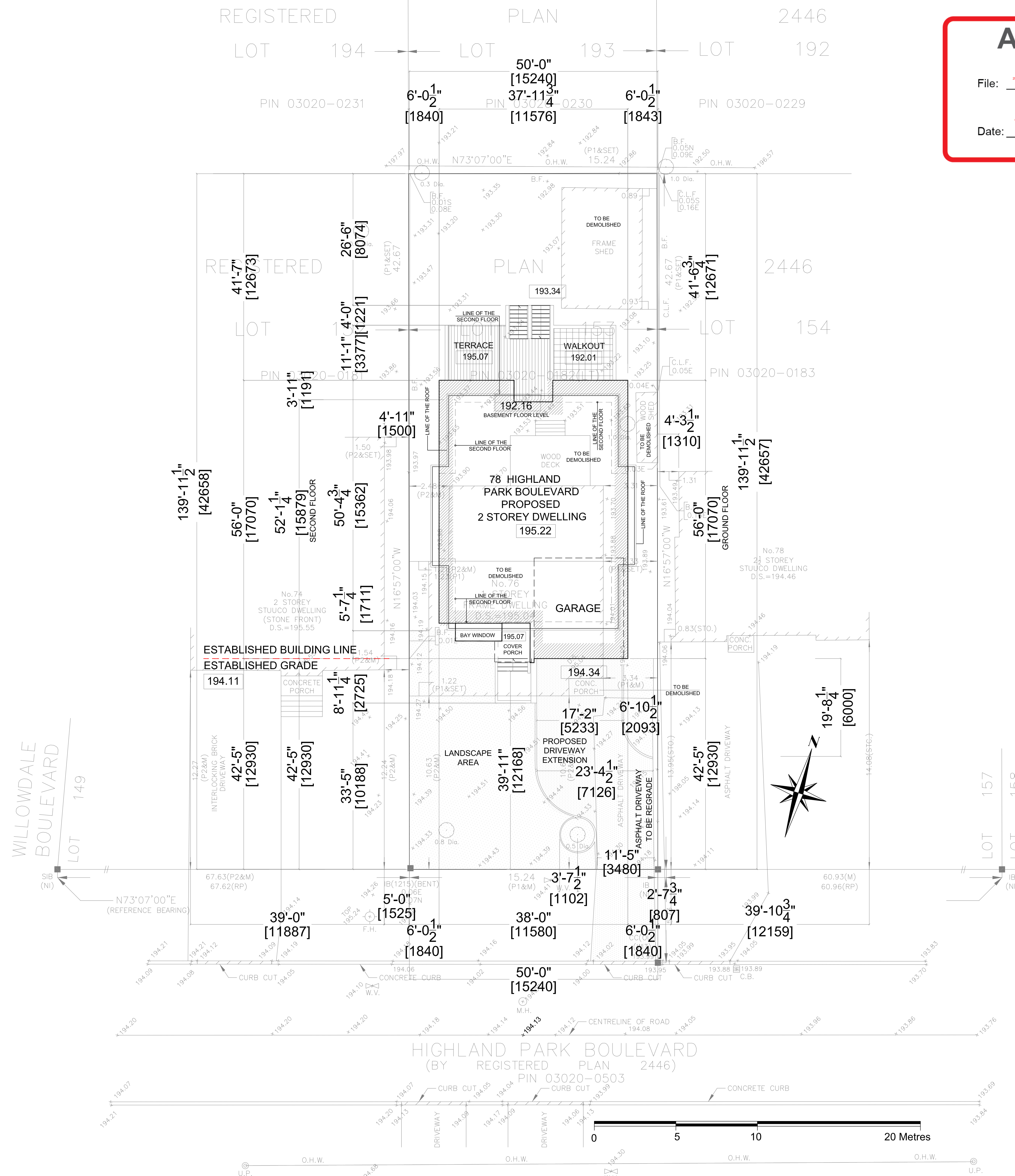
SET BACKS	PROPOSED		REQUESTED	
	M	FT.	M	FT.
FRONT BUILDING	12.93	42.42'		
FRONT STAIRS	12.17	39.93'		
REAR	12.67	41.57'		
SIDE	1.84	6.04'		
SIDE	1.84	6.04'		
HEIGHT TO TOP OF PLATE	7.00	30.51'		
LOT COVERAGE	28.5%	185.40	1995.60	MAX. COVERAGE 30.0%

PROPOSED BUILDING INFORMATION				
BASEMENT	145.80	1569.00		
GROUND FLOOR AREA + GARAGE	185.40	1995.60		
28.5%				
SECOND FLOOR AREA	139.50	1502.00		
21.40%				
GROSS FLOOR AREA	470.70	5066.60	500.00	5382.00

DRIVEWAY / LANDSCAPE AREA				
FRONT YARD	226.06	2433.20		
DRIVEWAY	91.20	981.60		
LANDSCAPE AREA	59.66%	134.86	1451.60	
SOFT LANDSCAPE AREA	55.32%	125.05	1346.00	

CALCULATED AREA IS INSIDE PROPERTY LINE

**1 PROPOSED
SITE PLAN**
SCALE: 1'-0" = 3/32"



Appendix B

File: _____

Date: **12/3/2025**

MM/DD/YYYY

AM

ALEKSANDAR V. MARKOVIC
Architecture + Interior

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REGISTRATION INFORMATION
Name: **Aleksandar V. Markovic** 33107 BCDN #
Signature: _____
Practice Name: **Markovic** 34372 BCDN #

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	MAY, 2025.
2		
3		

Client _____

**Hua Lin
Yuan Chen**

Project Name and Address _____
PROPOSED 2 STOREY DWELLING

**76 Highland Park Blvd.,
Markham, ON, L3T 1B5**

Drawing Title _____

SITE PLAN

Checked by _____

A.M. _____

Scale _____

AS NOTED

Drawing/Sheet No. _____

A0.1

Project No. _____

25-01

Appendix B

File: 25-12007-000-0000

Date: 12/3/2025
MM/DD/YYYY



ALEKSANDAR V. MARKOVIC
Architecture . Interior

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Issued _____
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REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1. of the Ontario Building Code
Name: ALEKSANDAR V. MARKOVIC BCDN # 33107
Signature: Aleksandar V. Markovic
Practice Name: Markovic Architecture BCDN# 34372

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	MAY, 2025.

Client _____

Hua Lin
Yuan Chen

Project Name and Address _____
PROPOSED 2 STOREY DWELLING

76 Highland Park Blvd.,
Markham, ON, L3T 1B5

Drawing Title _____

SOUTH
ELEVATION

Checked by _____

A.M.

Scale _____

AS NOTED

Drawing/Sheet No. _____

A2.1

Project No. _____

25-01



1 PROPOSED SOUTH ELEVATION

SCALE: 1'-0" = 1/4"

SCALE: 1 : 50

Appendix B

File: 24-12007-000-0000

Date: **12/3/2025**
MM/DD/YYYY

AW
ALEKSANDAR V. MARKOVIC
Architecture - Interior
1 Valley Woods Rd., North York, Ontario M3A 2R4
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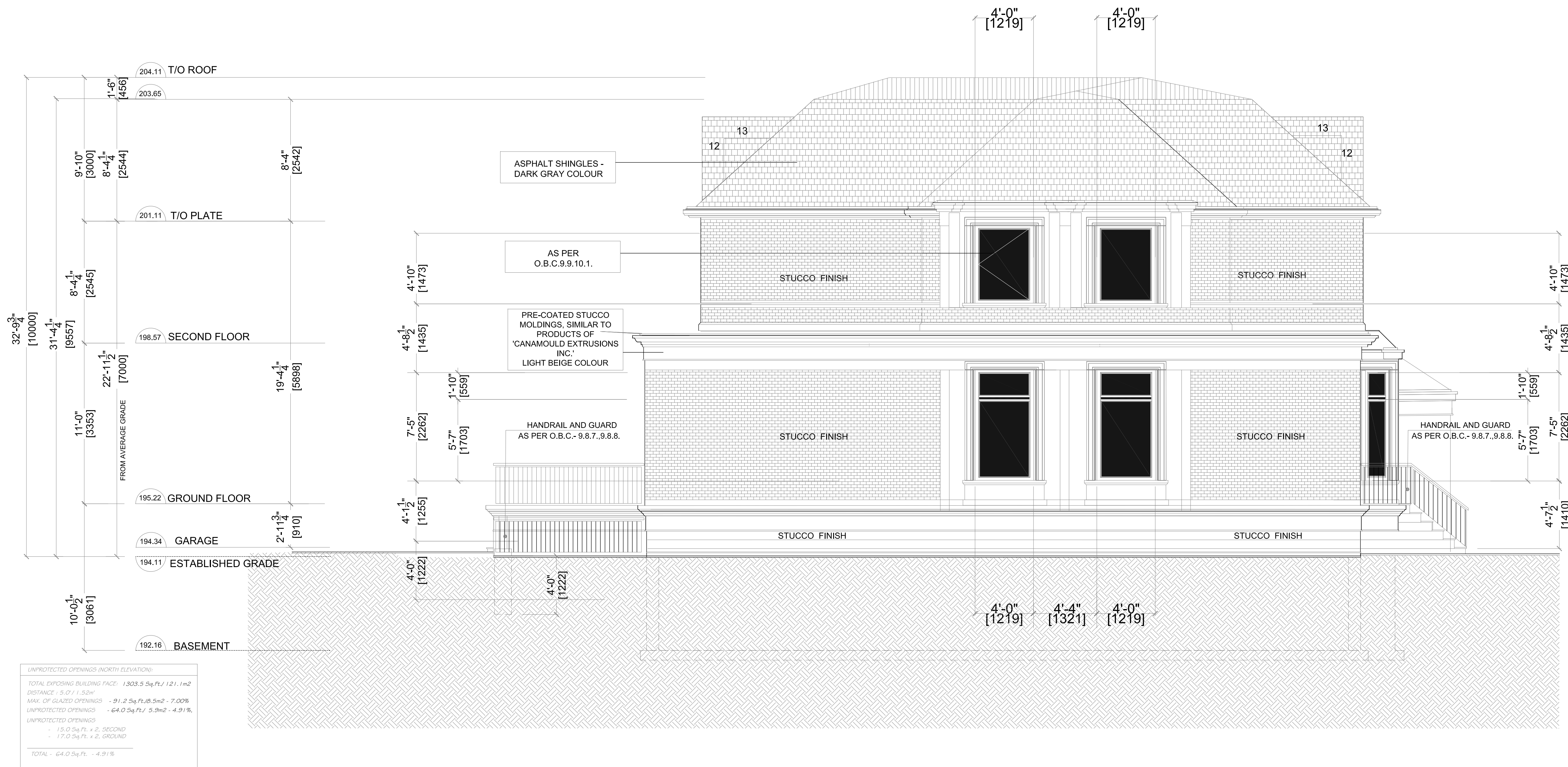
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1. of the Ontario Building Code
LILIJANA MARKOVIC 33107 BCDN #
Signature: *Markovic*
Aleksandar V. Markovic 34372 BCDN #
Practice Name

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	MAY, 2025.
2		
3		

Client _____
Hua Lin
Yuan Chen
Project Name and Address _____
PROPOSED 2 STOREY DWELLING

76 Highland Park Blvd.,
Markham, ON, L3T 1B5

Drawing Title _____
WEST ELEVATION
Checked by _____
A.M.
Scale _____
AS NOTED
Drawing/Sheet No. _____
A2.2
Project No. _____
25-01



1 PROPOSED WEST ELEVATION
SCALE: 1'-0" = 1/4"
SCALE: 1 : 50

Appendix C

Memorandum to the City of Markham Committee of Adjustment

September 5, 2025

File: A/084/25
Address: 76 Highland Park Boulevard, Thornhill
Agent: Aleksandar Markovic
Hearing Date: Wednesday, September 10, 2025

File: _____
Date: **12/3/2025**
MM/DD/YYYY

The following comments are provided on behalf of the West Team:

The applicant is requesting relief from the following requirements of By-law 2024-19, Residential - Established Neighbourhood Low Rise (RES-ENLR), as amended, to permit:

- a) **By-law 2024-19, Section 6.3.2.2.1:**
a minimum west side yard setback of 1.52 m and a minimum combined interior side yard setback on both sides of 3.36 m, whereas the by-law requires a minimum side yard setback of 1.8 m and a minimum combined interior side yard setback on both sides of 4.0 m;
- b) **By-law 2024-19, Section 6.2.1b):**
a maximum roof projection of 2.54 m above the maximum outside wall height, whereas the by-law permits a roof structure with a pitch of less than 25 degrees to project a maximum of 1 m above the maximum outside wall height;
- c) **By-law 2024-19, Section 6.3.2.2.c:**
a maximum main building coverage of 24% for any storey above the first, whereas the by-law permits a maximum main building coverage of 20% for any storey above the first;

as it relates to a proposed two-storey residential dwelling.

BACKGROUND

Property Description

The 650 m² (6996.54 ft²) subject property is located on the north side of Highland Park Boulevard, north of Steeles Avenue and east of Yonge Street. The property is located within an established residential neighbourhood comprised of a mix of one and two-storey detached dwellings. The surrounding area is undergoing a transition with newer dwellings being developed as infill developments. Mature vegetation exists across the property.

Proposal

The Owner is proposing to demolish the existing one-storey dwelling and construct a two-storey dwelling on the subject property. To facilitate this, the existing front porch and sheds within the east side yard and rear side yard will also be demolished. The driveway is expected to be regraded and extended from its original location.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on July 17/24)

The Official Plan designates the subject property “Residential Low Rise”, which provides for a range of lower-scale residential buildings in established neighbourhoods, including single detached dwellings.

Area Specific Policy 9.18.5 also applies to the Subject Property and intends to provide a set of development standards in the zoning by-law that limits the size and massing of new dwellings or additions, ensuring infill development respects the existing pattern and character of adjacent development. This includes development standards for lot coverage, building depth, floor area ratios, height, number of storeys, garage projections, and garage widths.

Zoning By-Law 2024-19

The subject property is zoned “Residential – Established Neighbourhood Low Rise” (RES-ENLR) under By-law 2024-19, which permits detached dwellings. The proposal does not comply with respect to the side yard setbacks, roof projection and second storey building coverage. Further details on the variances are provided in the comment section below.

Zoning Preliminary Review (ZPR) Not Undertaken

The Owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. However, the applicant has received comments from the building department through their permit process (HP.25.109525) to confirm the variances required for the proposed development. The applicant submitted revised drawings on August 22, 2025. The applicant has not conducted another Housing Review cycle for the revised drawings. Consequently, it is the owner’s responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Reduced Side Yard Setback Variance

The Owner is requesting to permit a minimum west side yard setback of 1.52 m and a minimum combined interior side yard setback on both sides of 3.36 m, whereas the by-law requires a minimum side yard setback of 1.8 m and a minimum combined interior side yard setback on both sides of 4.0 m for the two-storey portion of the dwelling.

The proposed combined side yard setback represents a reduction of 0.64 m from the required setback of 4.0 m, or a 16% decrease. While the requested relief will provide a reduced setback from the west side, Staff opine that the reduced interior sideyards will not adversely impact the character of the neighbourhood.

The proposed interior side yards will continue to maintain adequate space for soft landscaping drainage swales between adjacent properties. Engineering Staff note that the site is in the Thornhill area, which is known as a local flood prone area. The proposed redevelopment will require a Stormwater Management Brief for a complete Residential Infill Grading and Servicing (RGS) application, showing the control of 100-year post-development flows to 2-year or 5-year cycles, dependent on local upgrades. Staff are of the opinion that the requested variance is minor in nature, as the proposed decrease will not have an adverse impact on the neighbouring property.

Roof Projection Variance

The Owner is requesting to permit a roof projection of 2.54 m above the maximum outside wall height, whereas the by-law permits a roof structure with a pitch of less than 25 degrees to project only a maximum of 1.0 m above the maximum outside wall height.

The intent of the maximum roof projection is to maintain a consistent roofline and prevent excessive height that may adversely impact the surrounding properties. It should be noted that the design of the roof, specifically the slope at the front of the roof is consistent with the character of the neighbourhood, and is in line with the by-law's intent to create proper articulation of massing between the first and second storey. Staff are of the opinion that the proposed encroachment is minor in nature, as it maintains an appropriate roofline between neighboring dwellings, and as such, have no concerns.

Increase in Main Building Coverage Variance

The Owner is requesting to permit a main building coverage of 24% for the second storey, whereas the by-law permits a maximum main building coverage of 20%. The intent of the maximum building coverage requirements includes, but are not limited to, ensuring that appropriate angular planes are provided and that the built form and character of the neighbourhood is maintained.

The proposed increase to the main building coverage will increase the dwelling width, which, as explained in the side yard setback variance rationale, is minor in nature.

The proposed dwelling will be providing building lines, front and rear yard setbacks that will be consistent with adjacent properties, maintaining the intent of the By-law to regulate massing along the neighbourhood streetscape. The proposed second-storey and its required relief for building coverage will not significantly add to the scale and massing of the dwelling, and does not alter the character of the neighbourhood. Staff are of the opinion that the requested variance is minor in nature and have no concerns.

PUBLIC INPUT SUMMARY

No written submissions were received as of September 5, 2025. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Theo Ako-Manieson, Planner I, West District

REVIEWED BY:



Rick Cefaratti, MCIP, RPP, Acting-Development Manager, West District

File Path: Amanda\File\ 25 125637 \Documents\District Team Comments Memo

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/084/25

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, and that the Secretary Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction;

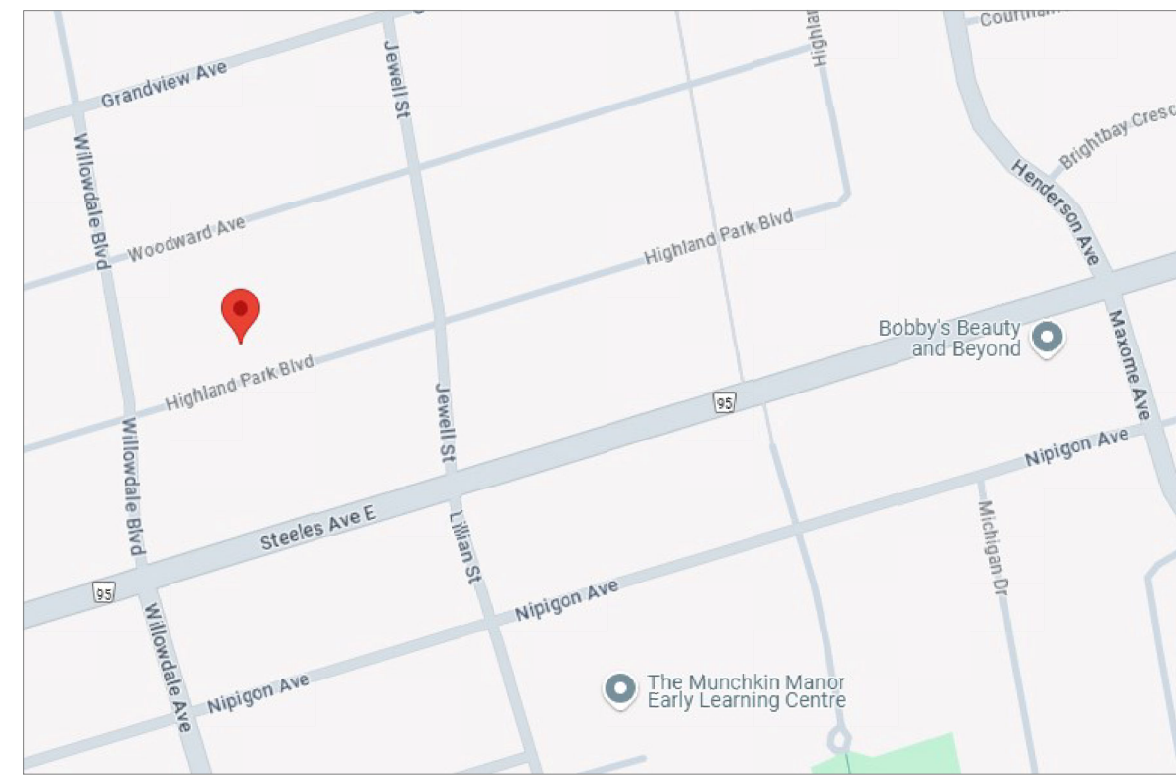
CONDITIONS PREPARED BY:



Theo Ako-Manieson, Planner I, West District

**ISSUED FOR PERMIT
JANUARY 2025.**

KEY PLAN



ZONING INFO

ZONE - RES-ENLR				
SITE DATA	SQ.FT.	M2		
LOT AREA	7000.00	650.50	100%	
MIN. LOT FRONTAGE	15.24 m'	EXISTING LOT FRONTAGE	15.24 m'	

SET BACKS	PROPOSED		REQUESTED	
	M	FT.	M	FT.
FRONT BUILDING	12.93	42.42'		
FRONT STAIRS	12.17	39.93'		
REAR	12.67	41.57'		
SIDE	1.52	5.00'		
SIDE	1.84	6.04'		
HEIGHT TO TOP OF PLATE	7.00	30.51'		
LOT COVERAGE	29.98%	194.95	2098.40	MAX. COVERAGE 30.0%

PROPOSED BUILDING INFORMATION				
BASEMENT	152.50	1642.00		
GROUND FLOOR AREA + GARAGE	191.40	2060.00	29.73%	
SECOND FLOOR AREA	156.10	1680.00	24.00%	
GROSS FLOOR AREA	500.00	5382.00	500.00	5382.00

DRIVEWAY / LANDSCAPE AREA				
FRONT YARD	226.06	2433.20		
DRIVEWAY	91.20	981.60		
LANDSCAPE AREA	59.66%	134.86	1451.60	
SOFT LANDSCAPE AREA	55.32%	125.05	1346.00	

CALCULATED AREA IS INSIDE PROPERTY LINE

Appendix B

File: _____

Date: **9/5/2025**

MM/DD/YYYY

AM
ALEKSANDAR V. MARKOVIC
 Architecture + Interior
 1 Valley Woods Rd., North York, Ontario M3A 2R4
 Cell: (416) 833-0781 Email: a.v.markovic@sympatico.ca

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT. THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED. THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER. ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO FABRICATION, INSTALLATION OR COMMENCING WITH WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION. DO NOT SCALE THE DRAWINGS.

Issued _____
 ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE CONSENT

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the Requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1. of the Ontario Building Code

Name: **Aleksandar V. Markovic** BCDN # **33107**
 Signature: *Aleksandar V. Markovic*
 Practice Name: **Markovic** BCDN# **34372**

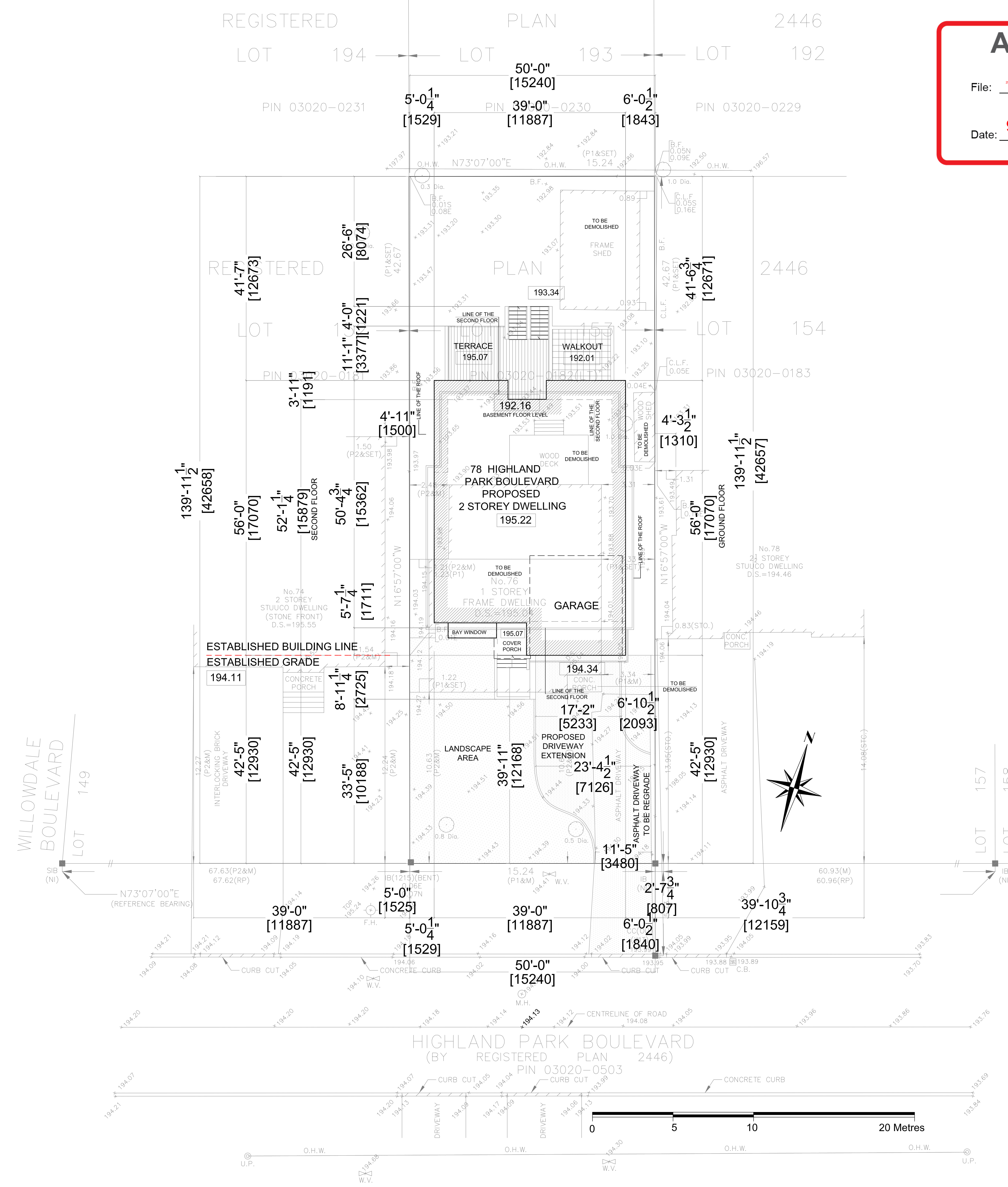
NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	MAY, 2025.
2		
3		

Client _____
Hua Lin
Yuan Chen
 Project Name and Address _____
 PROPOSED 2 STOREY DWELLING

76 Highland Park Blvd.,
Markham, ON, L3T 1B5
 Drawing Title _____

SITE PLAN

Checked by _____
A.M.
 Scale _____
AS NOTED
 Drawing/Sheet No. _____
A0.1
 Project No. _____
25-01



**1 PROPOSED
SITE PLAN**
 SCALE: 1'-0" = 3/32"

Appendix B

File: 25-0107-000-0000
 Date: **9/5/2025**
 MM/DD/YYYY



ALEKSANDAR V. MARKOVIC
 Architecture, Interiors
 1 Valley Woods Rd., North York, Ontario M3A 2R4
 Cell: (416) 338-0781 Email: a.v.m.design@sympatico.ca

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REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1. of the Ontario Building Code
 Name: LILIANA MARKOVIC 33107 BCDN #
 Signature: *Liliana Markovic*
 Aleksandar V. Markovic 34372 BCDN #
 Practice Name

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	MAY, 2025.

Client _____
Hua Lin
Yuan Chen
 Project Name and Address _____
 PROPOSED 2 STOREY DWELLING

76 Highland Park Blvd.,
 Markham, ON, L3T 1B5

Drawing Title _____
EAST ELEVATION

Checked by _____
 A.M.
 Scale _____
 AS NOTED
 Drawing/Sheet No. _____
A2.4
 Project No. _____
25-01



1 PROPOSED EAST ELEVATION
 SCALE: 1'-0" = 1/4"
 SCALE: 1 : 50

Appendix B

File: 25-12007-000-0000

Date: 9/5/2025
MM/DD/YYYY



ALEKSANDAR V. MARKOVIC
Architecture, Interiors

1 Valley Woods Rd., North York, Ontario M3A 2R4
Cell: (416) 838.0781 Email: a.v.markovic@sympatico.ca

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JILJANA MARKOVIC 33107
Name BCDN #
Signature
Aleksandar V. Markovic 34372
Practice Name BCDN #

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	MAY, 2025.

Client _____

Hua Lin
Yuan Chen

Project Name and Address _____
PROPOSED 2 STOREY DWELLING

76 Highland Park Blvd.,
Markham, ON, L3T 1B5

Drawing Title _____

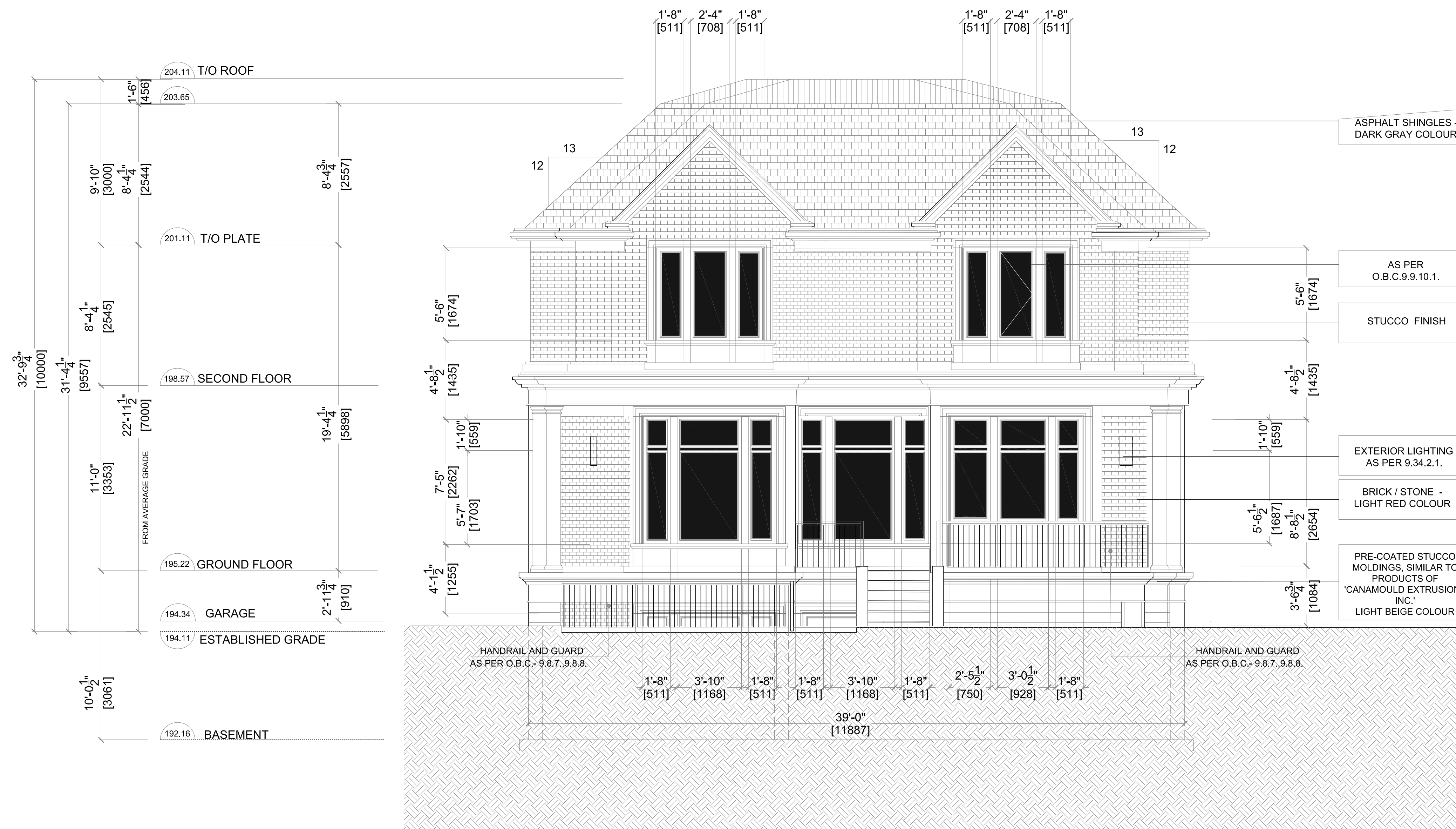
NORTH
ELEVATION

Checked by _____
A.M.

Scale _____
AS NOTED

Drawing/Sheet No. _____
A2.3

Project No. _____
25-01



1 PROPOSED NORTH ELEVATION

SCALE: 1'-0" = 1/4"

SCALE: 1 : 50

Appendix B

File: 24-12007-000-000

Date: **9/5/2025**
MM/DD/YYYY



ALEKSANDAR V. MARKOVIC

Architecture . Interior

1 Valley Woods Rd., North York, Ontario M3A 2R4
Cell: (647) 838-0781 Email: a.v.markovic@sympatico.ca

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Name: **LILIANA MARKOVIC** BCDN # 33107
Signature: *Aleksandar V. Markovic*
Practice Name: **Aleksandar V. Markovic** 34372 BCDN#

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	MAY, 2025.

Client _____

Hua Lin
Yuan Chen

Project Name and Address _____
PROPOSED 2 STOREY DWELLING

76 Highland Park Blvd.,
Markham, ON, L3T 1B5

Drawing Title _____

SOUTH
ELEVATION

Checked by _____

A.M.

Scale _____

AS NOTED

Drawing/Sheet No. _____

A2.1

Project No: _____

25-01



1 **PROPOSED**
SOUTH ELEVATION
SCALE: 1'-0" = 1/4"
SCALE: 1 : 50

Appendix B

File: 24-12007-000-0000

Date: **9/5/2025**
MM/DD/YYYY



ALEKSANDAR V. MARKOVIC

Architecture - Interior

1 Valley Woods Rd., North York, Ontario M3A 2R4
Cell: (416) 838-0781 Email: a.v.markovic@sympatico.ca

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LILIANA MARKOVIC 33107 BCDN #
Signature: *Liliana Markovic*
Aleksandar V. Markovic 34372 BCDN #
Practice Name

Revised _____

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	MAY, 2025.
2		
3		

Client _____

**Hua Lin
Yuan Chen**

Project Name and Address
PROPOSED 2 STOREY DWELLING

76 Highland Park Blvd.,
Markham, ON, L3T 1B5

Drawing Title _____

**WEST
ELEVATION**

Checked by _____

A.M.

Scale _____

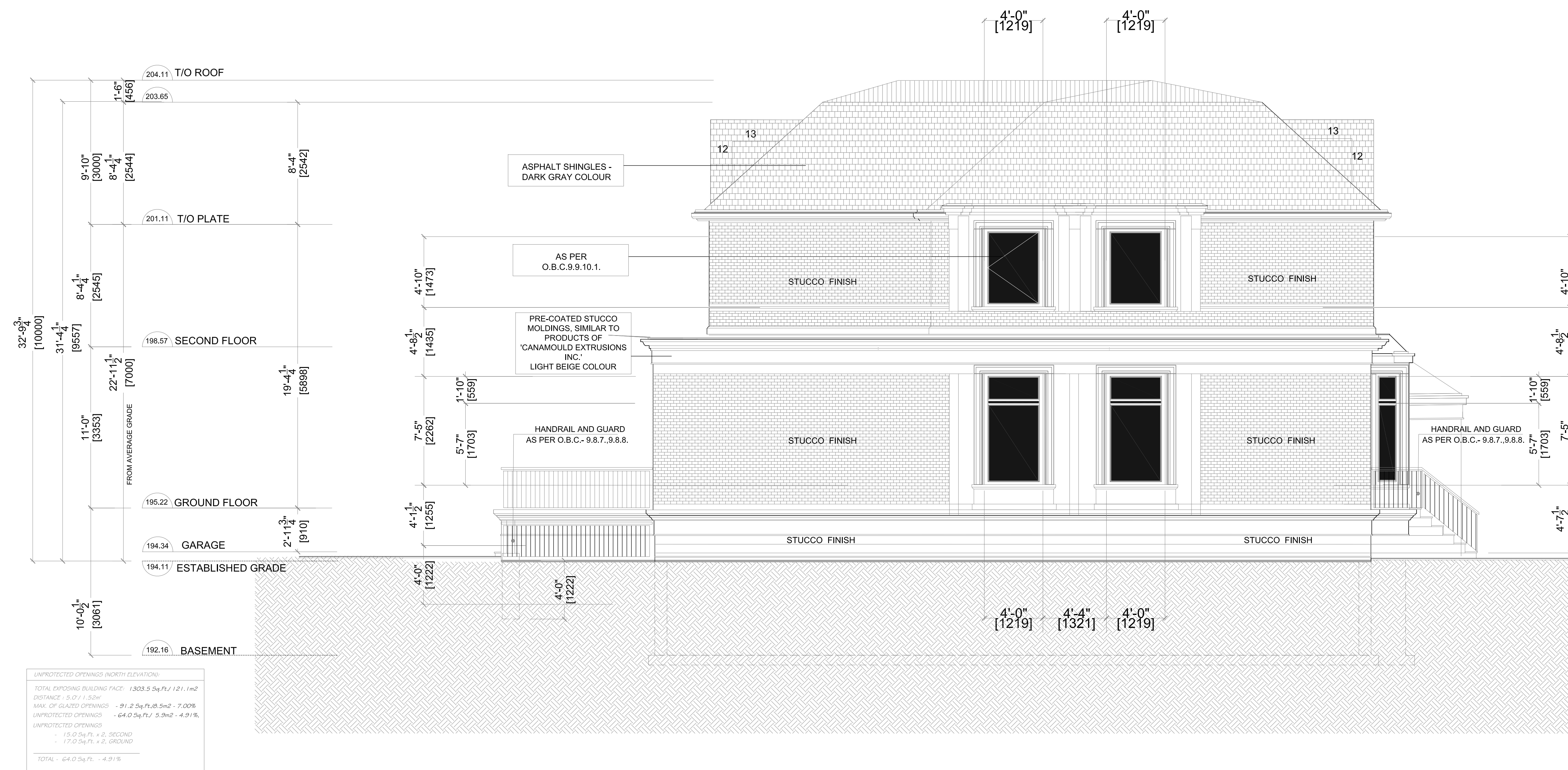
AS NOTED

Drawing/Sheet No. _____

A2.2

Project No: _____

25-01



1 PROPOSED WEST ELEVATION

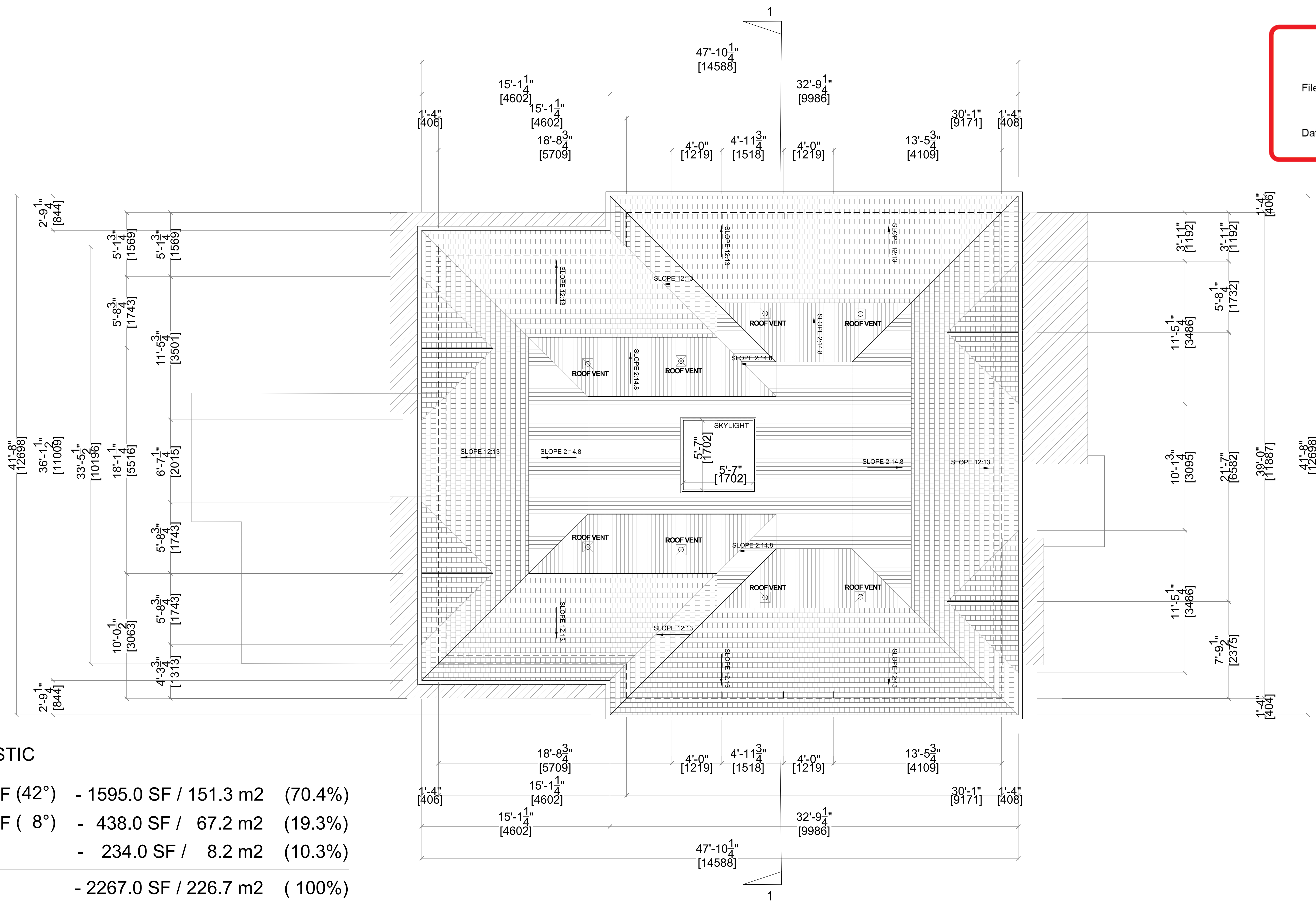
SCALE: 1'-0" = 1/4"

SCALE: 1 : 50

Appendix B

File: _____

Date: **9/5/2025**
MM/DD/YYYY



ROOF STATISTIC

- SLOPED ROOF (42°) - 1595.0 SF / 151.3 m2 (70.4%)
- SLOPED ROOF (8°) - 438.0 SF / 67.2 m2 (19.3%)
- FLAT ROOF - 234.0 SF / 8.2 m2 (10.3%)
- 2267.0 SF / 226.7 m2 (100%)

AM

ALEKSANDAR V. MARKOVIC
Architecture, Interior

1 Valley Woods Rd., North York, Ontario M3A 2R4
Cell: (647) 838.0781 Email: a.v.markovic@synpatio.ca

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REGISTRATION INFORMATION
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LJILJANA MARKOVIC 33107 BCDN #
Name
Aleksandar V. Markovic
Signature
Aleksandar V. Markovic 34372 BCDN #
Practice Name

Revised _____

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	MAY, 2025.
2		

Client _____
Hua Lin
Yuan Chen
Project Name and Address _____
PROPOSED 2 STOREY DWELLING

76 Highland Park Blvd.,
Markham, ON, L3T 1B5

Drawing Title _____

ROOF PLAN

Checked by _____
A.M.
Scale _____
AS NOTED
Drawing Sheet No. _____
A1.5
Project No. _____
25-01

4 **PROPOSED ROOF PLAN**

SCALE: 1'-0" = 1/4"
SCALE: 1 : 50

LEGEND

	SMOKE ALARMS AND CARBON MONOXIDE DETECTORS O.B.C. 2012 & 10.19.3.1 - 9.33.4.2	MAY BE BATTERY OPERATED EXCEPT WHERE SMOKE ALARMS ARE REQUIRED TO BE INTERCONNECTED DUE TO SEPARATION BETWEEN UNITS AND EGRESS REQUIREMENTS. ALARMS MUST BE LOCKED ON OR NEAR THE CEILING WITHIN 6M OF BEDROOM DOORS.
	REQUIRED CARBON MONOXIDE DETECTORS WITHIN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA.	MUST CONFORM TO CAN/CSA 4.19 OR UL 2034 CO DETECTORS MAY BE BATTERY OPERATED OR PLUGGED INTO AN ELECTRICAL OUTLET.

IMPORTANT NOTICE
ALL STRUCTURAL ELEMENTS RECOMMENDED BY STRUCTURAL ENG. WILL BE VERIFIED BY FLOOR JOISTS / ROOF TRUSSES MANUFACTURER

IMPORTANT NOTICE
ALL THERMAL INSULATION INFORMATION CAN BE FOUND IN ENERGY EFFICIENCY DESIGN SUMMARY

Energy Efficiency Design Summary: Prescriptive Method
(Building Code Part 9, Residential)

This form is used by a designer to demonstrate that the energy efficiency design of a house complies with the building code using the prescriptive method described in Subsection 3.1.1.4. of SB-12. This form is applicable where the ratio of gross area of windows/sidelights/skylights/glazing in doors and sliding glass doors to the gross area of peripheral walls is not more than 22%.

Application No: _____ Model/Certification Number: _____
For use by Principal Authority

A. Project Information
Building name: 76 Highland Park Blvd
City/Town/Village: Markham
Municipality: _____ Reg. No: _____

B. Prescriptive Compliance (Indicate the building code compliance package being employed in this house design)
SB-12 Prescriptive (input design package): Package: A1 Table: 3.1.1.2.A(IP)

C. Project Design Conditions

Climatic Zone (SB-12):	Heating Equipment Efficiency	Space Heating Fuel Source
Zone 1 (< 5000 degree days)	≥ 92% AFUE	Gas <input type="checkbox"/> Propane <input type="checkbox"/> Solid Fuel <input type="checkbox"/>
Zone 2 (≥ 5000 degree days)	≥ 84% < 92% AFUE	Gas <input type="checkbox"/> Oil <input type="checkbox"/> Electric <input type="checkbox"/> Earth Energy <input type="checkbox"/>

Ratio of Windows, Skylights & Glass (W, S & G) to Wall Area

Area of walls = 398.7 m² or _____
W, S & G = 18.1
Area of W, S & G = 72.3 m² or _____
Utilize window averaging: Yes No

Other Building Characteristics

Log Post&Beam ICF Above Grade ICF Basement
Slab-on-ground Walkout Basement
Air Conditioning Combo Unit
Air Sourced Heat Pump (ASHP)
Ground Sourced Heat Pump (GSHP)

D. Building Specifications (provide values and ratings of the energy efficiency components proposed)

Energy Efficiency Substitutions

ICF (3.1.1.2.(5) & (6) / 3.1.1.3.(5) & (6))
 Combined space heating and domestic water heating systems (3.1.1.2.(7) / 3.1.1.3.(7))
 Airtightness substitution(s) Table 3.1.1.4.B Required: _____ Permitted Substitution: _____
 Airtightness test required (Refer to Design Guide Attached) Table 3.1.1.4.C Required: _____ Permitted Substitution: _____

Building Component	Minimum RSI / R value or Maximum U-value		Building Component	Efficiency Ratings
	Nominal	Effective		
Thermal Insulation			Windows & Doors	Provide U-Value ⁽¹⁾ or EER rating
Ceiling with Attic Space	60	69.22	Windows/Sliding Glass Doors	0.25
Ceiling without Attic Space	31	27.05	Sidights/Clazed Roofs	0.49
Exposed Floor	31	29.8	Mechanicals	
Walls Above Grade	22	17.03	Heating Equip.(AFUE)	96%
Basement Walls	20	21.12	HRV Efficiency (BRE% at 0°C)	75%
Slab (at >600mm below grade)	10		DHW Heater (EF)	0.8
Slab (edge only <600mm below grade)	10		DWHR (CSA B55.1 (min. 42% efficiency))	42% (# Showers)
Slab (at <600mm below grade, or treated)	10	11.13	Combined Heating System	

(1) U value to be provided in either W/(m²·K) or Btu/(h·ft²·F) but not both.

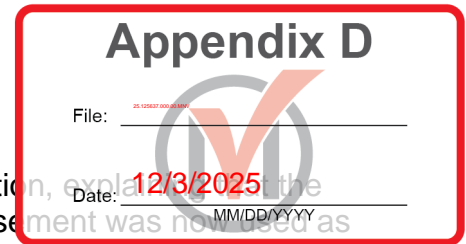
E. Designer(s) (name(s) & BCIN(s), if applicable, of person(s) providing information herein to substantiate that design meets the building code)
Qualified Designer Declaration of designer to have reviewed and take responsibility for the design work.

Name: Dan Pusica BCIN: z1266 Signature: *D. Pusica*

cf 1007-22-23

FOR STRUCTURAL INFORMATION ONLY

FOR 76 HIGHLAND PARK BOULEVARD, MARKHAM



as it relates to the existing side entrance.

The owner, Elaheh Rezaei, appeared on behalf of the application, explaining the condition existed before they purchased the home and the basement was not used as an additional residential unit, but also had access through the primary floor residence.

Member Prasad, for the safety of the residents, indicated it was not possible to approve variances without safe emergency access to the additional residential unit.

The Chair expressed that the reduced setbacks would create negative grading and drainage impacts for the adjacent property and increase potential health and safety risks for first responders and current and future residents, and agreed that the application was not in the interest of the public and could not be supported.

Member Prasad motioned to deny the application.

Moved by: Arun Prasad
Seconded by: Patrick Sampson

The Committee unanimously denied the application.

THAT Application **A/052/25** be **denied**.

Resolution Carried

6.6 A/084/25

Agent Name: Aleksandar Markovic
76 Highland Park Boulevard, Thornhill
PLAN 2446 LOT 153

The applicant was requesting relief from the requirements of By-law 2024-19, as amended, to permit the following:

- a) **By-law 2024-19, Section 6.3.2.2.1:**
a minimum west side yard setback of 1.52 metres and a minimum combined interior side yard setback on both sides of 3.36 metres, whereas the by-law requires a minimum side yard setback of 1.8 metres and a minimum combined interior side yard setback on both sides of 4.00 metres;
- b) **By-law 2024-19, Section 6.2.1b):**
a maximum roof projection of 2.54 metres above the maximum outside wall height, whereas the by-law permits a roof structure with a pitch of less than 25 degrees to project a maximum of 1 metre above the maximum outside wall height;
- c) **By-law 2024-19, Section 6.3.2.2.c:**

a maximum main building coverage of 24 percent for any storey above the first, whereas the by-law permits a maximum main building coverage of 20 percent for any storey above the first;

as it relates to a proposed two-storey residential dwelling.

The agent, Aleksandar Markovic, appeared on behalf of the application.

Member Reingold disagreed with the reduced side yard setbacks and indicated that the other variance requests were reflective of the development of the area.

Member Sampson disagreed with both the side yard setback and the massing of the second storey.

Member Prasad asked if the applicant could agree to increase the side yard setbacks and reduce the second-floor coverage.

The applicant indicated the variance requests could be reduced; however, the exact reduction could not be determined at the meeting.

The Chair recommended the application be deferred and the applicant return with new drawings after conferring with their client.

Member Prasad motioned for deferral.

Moved by: Arun Prasad

Seconded by: Jeamie Reingold

THAT Application **A/084/24** be **deferred** sine die.

Resolution Carried

Applications B/003/25, A/049/25, A/051/25, B/004/25, and A/051/25 were heard concurrently with the discussion recorded under application B/003/25.

6.7 B/003/25

Agent Name: Anison & Associates (Tanya Roman)
21 Riverview Avenue, Markham
PLAN 4365 LOT 12

The owner was requesting provisional consent to:

- a) sever and convey** a parcel of land (Part 2) with an approximate lot width of 11.60 metres and an approximate lot area of 464.41 square metres; and
- b) retain a parcel of land** (Part 1) with an approximate lot width of 22.80 metres and an approximate lot area of 916.26 square metres.