



170 KRIEGHOFF AVE
MARKHAM, ON. L3R 1W3

GROSS FLOOR AREA		
	AREA	AREA (SF)
SECOND FLOOR	237.11 m ²	2552.18 SF
GROUND FLOOR	205.60 m ²	2213.10 SF
GFA	442.71 m ²	4765.28 SF

NOTES:

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3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.
6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
7. DO NOT SCALE DRAWINGS.

REVISION RECORD

No.	Description	Date
1	REVISED AS PER CHANGEMARKS	JUNE 22, 2022

ISSUE RECORD

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 Toronto, Ontario, M2H 3B3
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170 KRIEGHOFF AVE
 for

22018 PROJECT SCALE RL MDZ
 DRAWN REVIEWED

COVER PAGE

A1.0

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LOT 18

PIN 02979-0076

LOT 17

PIN 02979-0075

REGISTERED

LOT 104

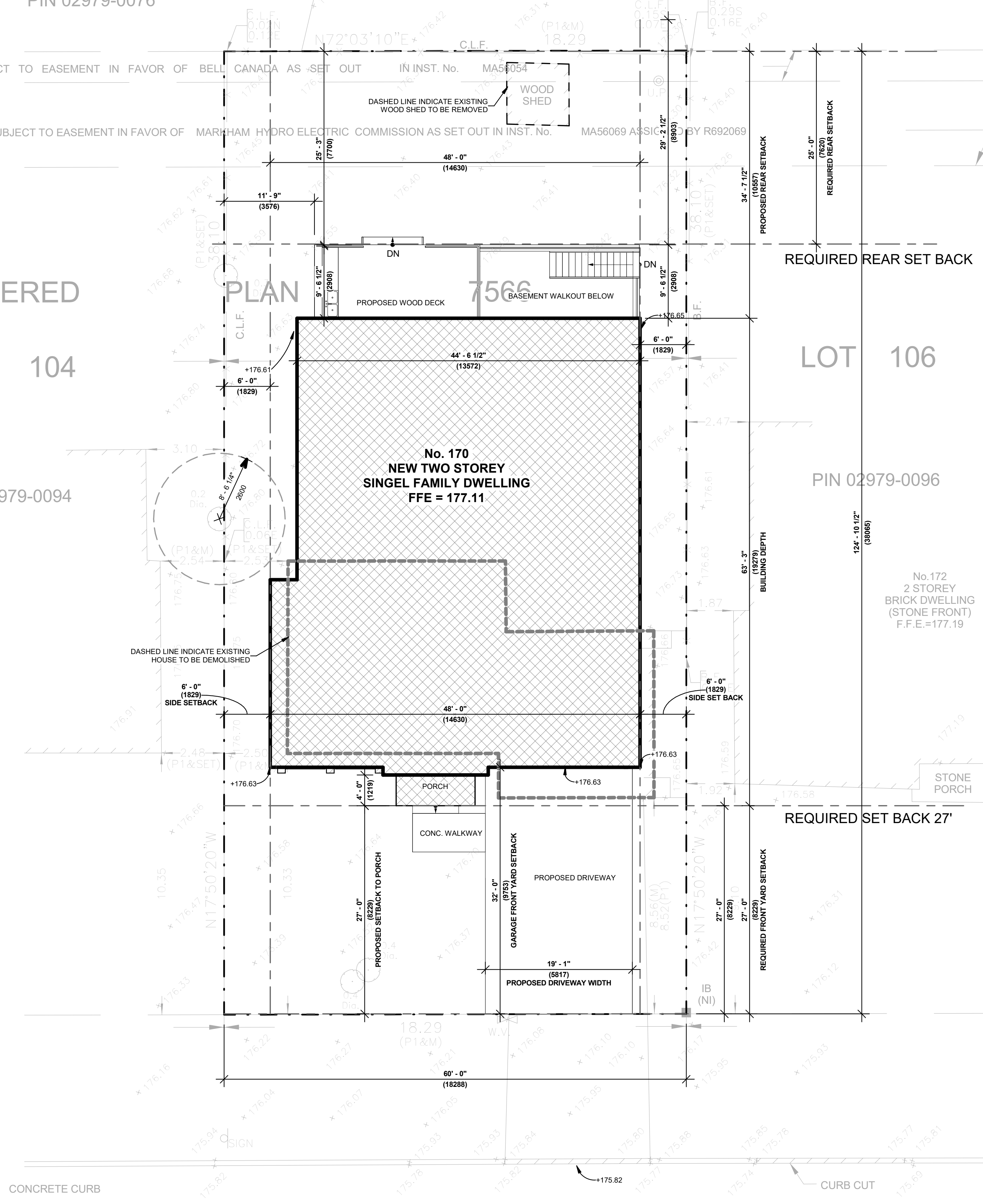
PIN 02979-0094

REQUIRED REAR SET BACK

LOT 106

PIN 02979-0096

REQUIRED SET BACK 27'



SITE STATISTICS		By-Law No. 11-72	
ZONING		Zone Label	R4
LOT AREA	REQUIRED	580.64m ²	(6,250.00 sf)
	PROPOSED	696.77 m ²	(7,500 sf)
LOT WIDTH & FRONTAGE	PERMITTED	N/A	
	PROPOSED	18.28m	(60'-0")
LOT COVERAGE	PERMITTED	33.13%	(230.02m ² , 2,497.5sf)
	PROPOSED	35.86%	(249.89m ² , 2,689.77 sf)
GFA	MIN. FOR 2 STOREY	139.35m ²	(1500.00 sf)
	PROPOSED	440.84m ²	(4,745.20 sf) (FSI:0.63)
MAX. BUILDING HEIGHT	PERMITTED	7.62m	(25'-0")
	PROPOSED	7.91m	(25'-11 1/2")
SETBACKS: FRONT	PERMITTED	27'	MIN.
	PROPOSED	27'	
SETBACKS: EAST SIDE	PERMITTED	6'	or 4' MIN.
	PROPOSED	6'	
SETBACKS: WEST SIDE	PERMITTED	6'	or 4' MIN.
	PROPOSED	6'	
SETBACKS: REAR YARD	PERMITTED	25'	
	PROPOSED	37'-1 1/2"	
GARAGE FRONT YARD	PERMITTED	20'	
	PROPOSED	32'	

LOT COVERAGE		
	AREA	AREA (SF)
GROUND FLOOR	204.78 m ²	2204.27 SF
GARAGE	41.30 m ²	444.50 SF
PORCH	3.81 m ²	41.00 SF
TOTAL COVERAGE	249.89 m ²	2689.77 SF

GROSS FLOOR AREA		
	AREA	AREA (SF)
SECOND FLOOR	236.06 m ²	2540.93 SF
GROUND FLOOR	204.78 m ²	2204.27 SF
GFA	440.84 m ²	4745.20 SF

DEVELOPMENT STANDARDS	
Minimum Lot Frontage	50 feet
Minimum Lot Area	8,250 square feet
Minimum Front Yard Setback	27 feet
Minimum Front Yard Setback (garage only)	20 feet
Minimum Side Yard Setback (2 storey)	6 feet
Minimum Side Yard Setback (less than 2 storey)	4 feet
Minimum Rear Yard Setback	25 feet
Minimum Flankage Yard (greater of)	12 feet or 1/3 the height of the building
Maximum Building Height (Avg. grade to midpoint)	25 feet
Maximum Lot Coverage (all buildings on lot)	33.13%
Minimum Gross Floor Area (in sq. feet.)	1 Storey - 1100 1 1/2 Storey - 1200 2 Storey - 1500 Split Level - 1100 on plan

NOTES:

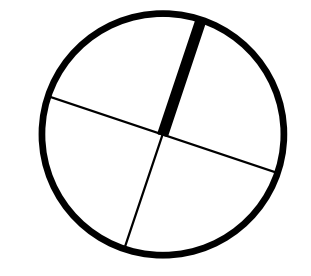
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22018 As indicateRL MDZ
PROJECT SCALE DRAWN REVIEWED

SITE PLAN

A1.1

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① SOUTH (FRONT) ELEVATION
1 : 50

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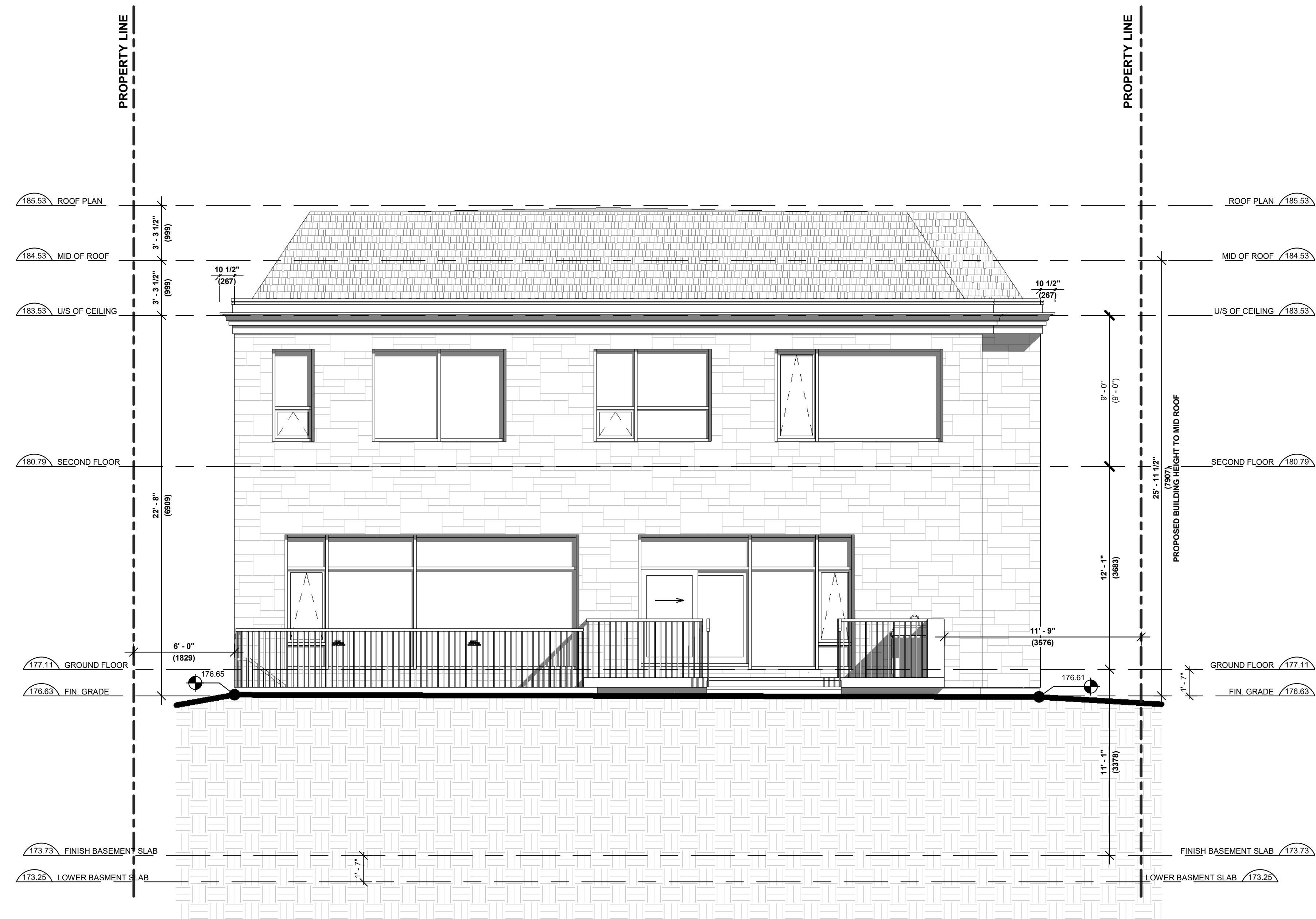
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22018 1 : 50 RL MDZ
PROJECT SCALE DRAWN REVIEWED

SOUTH (FRONT) ELEVATION

A3.1

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① NORTH (REAR) ELEVATION
1 : 50

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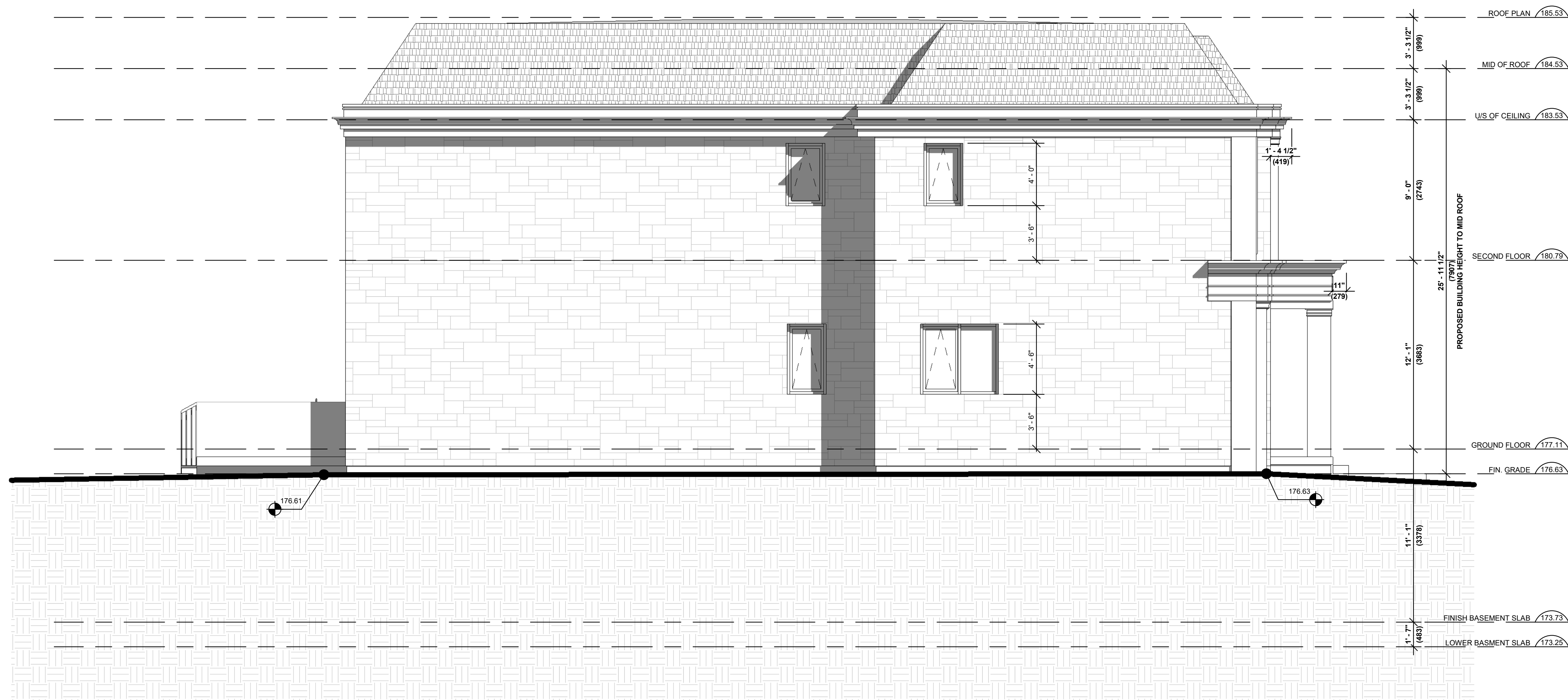
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NORTH (REAR) ELEVATION

A3.2

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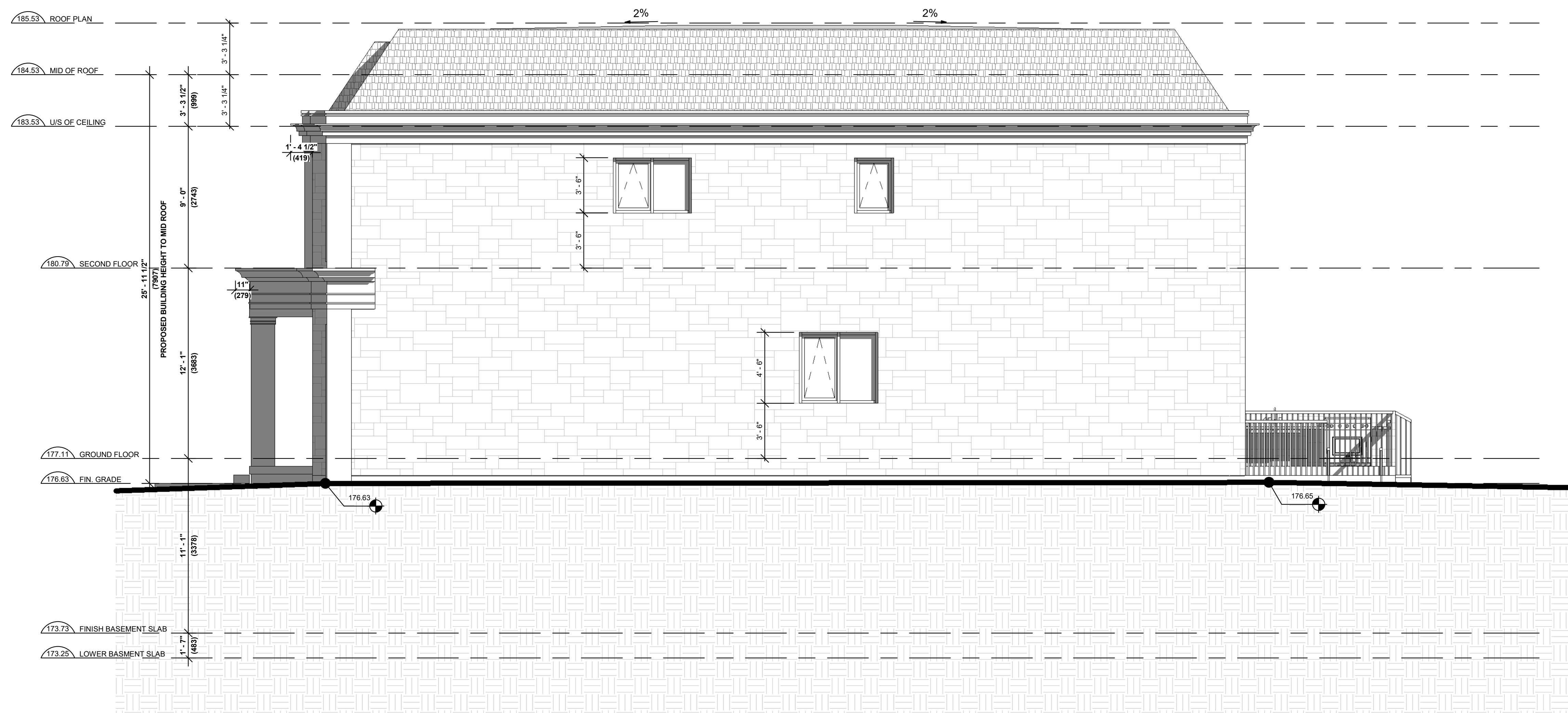
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WEST (SIDE) ELEVATION

A3.3

① WEST (SIDE) ELEVATION
1 : 50

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1 EAST (SIDE) ELEVATION
1 : 50

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EAST (SIDE) ELEVATION

A3.4

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