

Memorandum to the City of Markham Committee of Adjustment
September 15, 2025

File: A/092/25
Applicant: Cornell Rouge Development Corporation
Agent: State Building Group (Andy Margaritis)
Hearing Date: Wednesday, September 24, 2025

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of the Residential Two (R2*190*192) zone under By-law 177-96, as amended, to permit:

Part of Block 21, Parts 1 to 8 (Townhouse Lots)

a) By-law 177-96, Section 7.190.2(i):

a minimum front yard setback of 2.0 metres, whereas the by-law requires a minimum front yard setback of 3.0 metres;

Lot 9 (Single Detached Lot) – 24 Countryside Street

b) By-law 177-96, Section 7.192.1a iv):

a maximum rear yard setback to the attached garage of 1.43 metres, whereas the by-law permits a maximum rear yard setback to the attached garage up to 1.2 metres;

c) By-law 177-96, Section 5.1, Table B2(D):

a minimum exterior side yard setback of 1.7 metres, whereas the by-law requires a minimum exterior side yard setback of 2.4 metres; and

Lots 2, 6, 11 & 13 (Single Detached Lots) – 619 & 627 Cornell Centre Boulevard and 16 & 20 Countryside Street

d) By-law 28-97, Section 3.0, Table A:

a minimum of 1 parking space per dwelling unit, whereas, the by-law requires a minimum of 2 parking spaces for the main dwelling unit and one parking space for each additional dwelling unit;

as it relates to 8 proposed townhouse dwellings (Part of Block 21) and 5 proposed single detached dwellings located within Plan 65M-4545.

BACKGROUND

Property Description

The subject lands are located on the southeast side of Cornell Centre Boulevard and 16th Avenue. The subject lands were created as development blocks through the registration of Plan of Subdivision 65M-4545 in 2016. The surrounding area is comprised of a mix of two storey lane based single detached, semi-detached, and townhouse dwellings.

Proposal

The Minor Variance application relates to 8 townhouse dwellings and 5 single detached dwellings within the overall plan of subdivision (refer to Appendix C – Context Map).

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on July 17/24)

The subject lands are designated 'Residential Low Rise', which provides for a mix of low rise housing forms including single detached, semi-detached, and townhouse dwellings, up to three storeys in height.

Zoning By-Law 2024-19 and 177-96

A portion of the subject lands (townhouse lots) are zoned Residential - Established Neighbourhood Low Rise (RES-ENLR) under By-law 2024-19. However, as per the transition clauses within Section 1.7 of By-law 2024-19, an application accepted prior to the passing of By-law 2024-19 on January 31st, 2024 shall continue to be subject to the applicable By-law in force on the day before the effective date of this By-law. As the subject lands have applications in progress, the provisions of By-law 2024-19 do not apply to this application. Therefore, the Residential Two (R2*190*192) zone under By-law 177-96 applies to the subject lands. The rest of the subject lands are not located within By-law 2024-19 and are zoned Residential Two (R2*190*192*514) under By-law 177-96, as amended, which permits single detached, semi-detached, and townhouse dwellings. Exception *190, *192, and *514 provide additional permitted uses and site-specific development standards.

Parking Standards By-law 28-97

The proposal does not comply with the standards of Parking By-law 28-97 with respect to the minimum number of parking spaces. Further details of the parking requirement is provided in the comment section below.

Zoning Preliminary Review (ZPR) Not Undertaken

The Owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. It is the Owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Reduction in Front Yard Setback - Part of Block 21, Parts 1 to 8 (Townhouse Lots)

The applicant is requesting relief to permit a minimum front yard setback of 6.56 ft (2 m), whereas the By-law requires a minimum front yard setback of 9.84 ft (3 m). This represents a reduction of approximately 3.28 ft (1 m).

A previous Minor Variance application (A/002/23) was approved in 2023 for other lots within the overall subdivision to allow a reduction to the front yard setback. Staff opine that the proposed front yard setback is consistent with the front yard setback pattern in the surrounding neighbourhood and consider the requested variance to be minor in nature.

Increase in Rear Yard Setback - Lot 9 (Single Detached Lot) – 24 Countryside Street

The applicant is requesting relief to permit a maximum rear yard setback of 4.69 ft (1.43 m), whereas the By-law requires a maximum rear yard setback of 3.93 ft (1.2 m). This is an increase of approximately 0.76 ft (0.23 m)

The Owner has indicated the increased rear yard setback is required to accommodate parking in the detached garage. Staff opine the increase in the rear yard setback is minor in nature and have no concerns.

Reduced Exterior Side Yard Setback - Lot 9 (Single Detached Lot) – 24 Countryside Street

The applicant is requesting a minimum exterior side yard setback of 5.57 ft (1.7 m), whereas the by-law requires a minimum side yard setback of 7.87 ft (2.4 m). This is a reduction of approximately 2.3 ft (0.7 m).

The subject lot narrows as it reaches the rear yard. The majority of the dwelling complies with the required exterior side yard setback; however, a portion of the dwelling is non-compliant as a result in the narrowing of the lot. Staff opine that the requested variance is minor and will not adversely impact the streetscape.

Reduced Parking Spaces - Lots 2, 6, 11 & 13 (Single Detached Lots) – 619 & 627 Cornell Centre Boulevard and 16 & 20 Countryside Street

Parking Standards By-law 28-97 requires two parking spaces to be provided for the main dwelling unit, plus one parking space for each additional dwelling unit.

The Owner is requesting a reduction in parking in the event that the future Owner's construct an additional dwelling unit. Given the parking reduction is only required if an additional dwelling unit is provided, Staff recommend that a condition is included indicating that the parking reduction only applies if an additional dwelling unit is constructed (refer to Appendix A – Conditions of Approval). Staff have no concerns with the requested variance.

PUBLIC INPUT SUMMARY

No written submissions were received as of September 15, 2025. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variances requested meet the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix “A” for conditions to be attached to any approval of this application.

PREPARED BY:



Hailey Miller, MCIP, RPP, Senior Planner, East District

REVIEWED BY:



Stacia Muradali, MCIP, RPP, Development Manager, East District

File Path: Amanda\File\ 25 128151 \Documents\District Team Comments Memo

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/092/25

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction;
3. The reduction in the parking requirement from 2 parking spaces to 1 parking space for the main dwelling unit only applies when an additional dwelling unit is provided on the same lot, and shall only apply to Lots 2, 6, 11 & 13, Plan 65M-4545, municipally known as 619 & 627 Cornell Centre Boulevard and 16 & 20 Countryside Street.

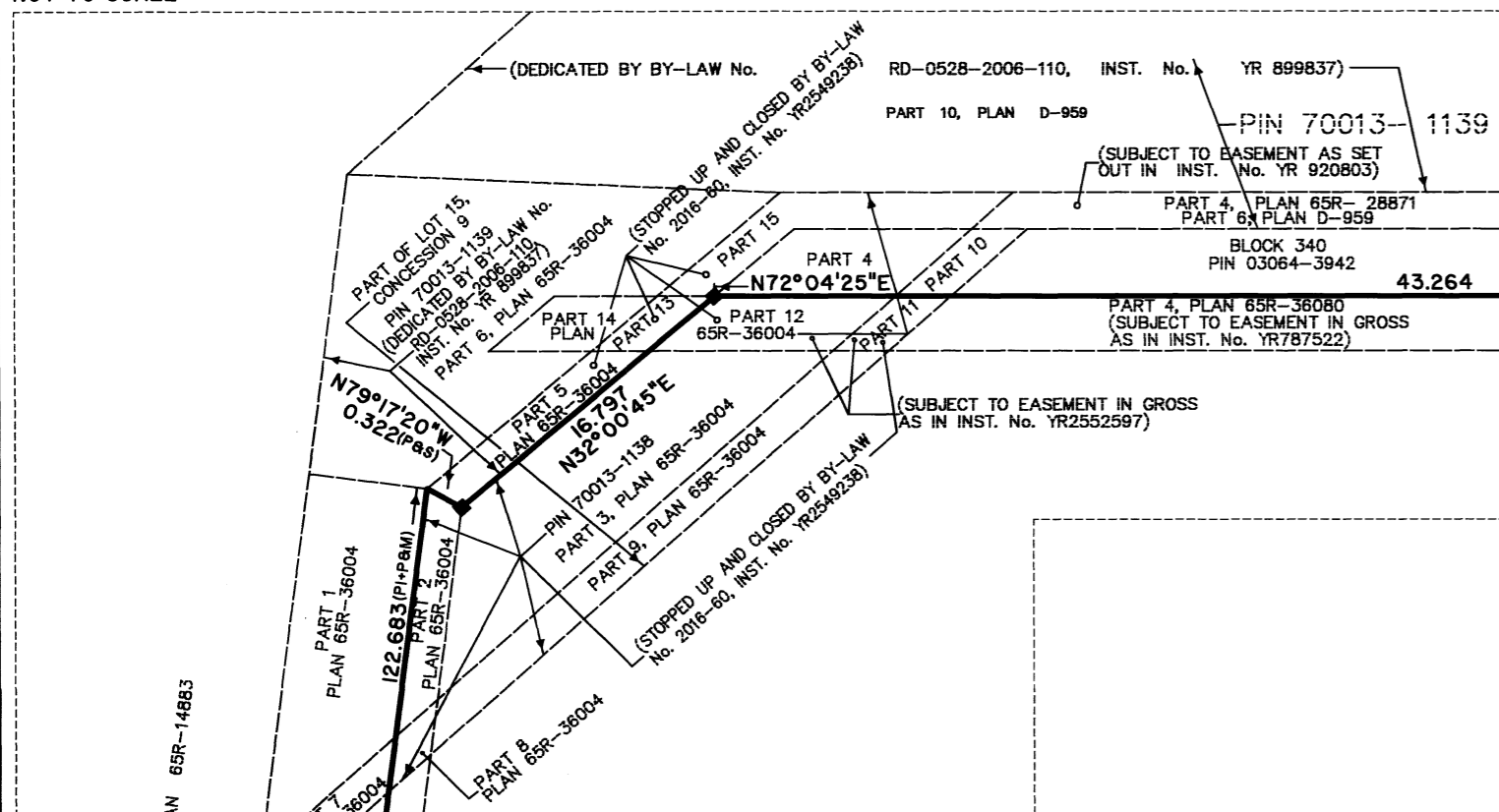
CONDITIONS PREPARED BY:



Hailey Miller, MCIP, RPP, Senior Planner, East District

METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DETAIL 'F'
NOT TO SCALE



BLOCK 21
BLOCK 339
PART 3, PLAN 65R-36080
PIN 03064-3941

CURVE TABLE

NUM	ARC	RADIUS	BEARING	CHORD
C1	18.756	13.000	N30°44'30"E	17.171
C2	6.492	4.500	N30°44'30"E	5.944
C3	4.559	3.000	N32°56'25"E	4.132
C4	4.866	3.000	N57°03'35"W	4.350



PLAN 65M-4545

Appendix B

I CERTIFY THAT THIS PLAN HAS BEEN REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND REGISTRY DISTRICT OF YORK AT 11:49 O'CLOCK ON THE 15TH DAY OF February 2017 AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIER No. 03064-3941-3964-3961 AND 70013-1138 AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. 78629839
Date: 9/19/2025
MM/DD/YYYY
Representative For Land Registrar

THIS PLAN COMPRISES ALL OF PINS 03064-3941, 03064-3961 AND 70013-1138.
SUBJECT TO EASEMENT IN GROSS OVER PART 4, PLAN 65R-36080 AS SET OUT IN INST. No. YR 787522 (AFFECTS PART OF BLOCK 21).
SUBJECT TO EASEMENT IN GROSS OVER PARTS II AND I2, PLAN 65R-36004 AS SET OUT IN INST. No. YR 2552597 (AFFECTS PART OF BLOCK 21).

PLAN OF SUBDIVISION OF
BLOCK 339
BLOCK 359 (0.30 RESERVE)
REGISTERED PLAN 65M-3888 AND PART OF LOT 15
CONCESSION 9
(GEOGRAPHIC TOWNSHIP OF MARKHAM, COUNTY OF YORK)
CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK
SCALE 1 : 1000

SCHAEFFER DZALDOV BENNETT LTD.

NOTES

- SSB DENOTES IRON BAR PLANTED
- SSB DENOTES SHORT STANDARD IRON BAR PLANTED
- SIB FOUND MONUMENT
- SIB STANDARD IRON BAR
- SSB SHORT STANDARD IRON BAR
- SIB IRON BAR
- 922 SCHAEFFER DZALDOV BENNETT LTD.
- CP CONCRETE PIN
- CC CUT CROSS
- P PLAN 65R-36004
- PI REGISTERED PLAN 65M-3888

ALL FOUND MONUMENTS ARE SSB'S.
ALL FOUND MONUMENTS ARE NUMBERED 922.
0.30 RESERVES ARE EXAGGERATED FOR CLARITY.

TOTAL AREA OF SUBDIVISION = 0.9458 ha.

UTM GRID BEARINGS CAN BE DERIVED FROM SPECIFIED CONTROL POINTS 092103051 AND 092103053, UTM ZONE 17, NAD83 (ORIGINAL) BY APPLYING A COUNTER-CLOCKWISE ROTATION OF 1°02'28" TO THE BEARINGS SHOWN ON THIS PLAN.

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999820.

POINT ID.	NORTHING	EASTING
SCP 092103051	4860985.552	643057.792
SCP 092103053	4861327.760	642933.166

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

OWNER'S CERTIFICATE

- THIS IS TO CERTIFY THAT:
- LOTS 1 TO 20, BOTH INCLUSIVE, BLOCK 21 AND THE LANE, NAMLEY BLOCK 22, HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
 - THE LANE IS HEREBY DEDICATED TO THE CORPORATION OF THE CITY OF MARKHAM AS A PUBLIC LANE.

DATED THE 25TH DAY OF Oct, 2016.

CORNELL ROUGE DEVELOPMENT CORP.

[Signature]
BARRY ZAGDANSKI - A.S.O.
[Signature]
MIGUEL SINGER - A.S.O.
"WE HAVE THE AUTHORITY TO BIND THE CORPORATION"

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 19TH DAY OF AUGUST, 2016.

DATE : OCTOBER 25, 2016.

[Signature]
DAN DZALDOV
ONTARIO LAND SURVEYOR

APPROVED UNDER SECTION 51 OF THE PLANNING ACT, R.S.O. 1990

THIS 28TH DAY OF September 2016.

[Signature]



SCHAEFFER DZALDOV BENNETT LTD.
ONTARIO LAND SURVEYORS

64 JARDIN DRIVE CONCORD, ONTARIO L4K 3P3 TEL.(416)987-0101
CALC. SL DRAWN ACAD/LW CHECKED WMF SCALE 1:1000 JOB NO. 02-608-00-03B

Appendix B

METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

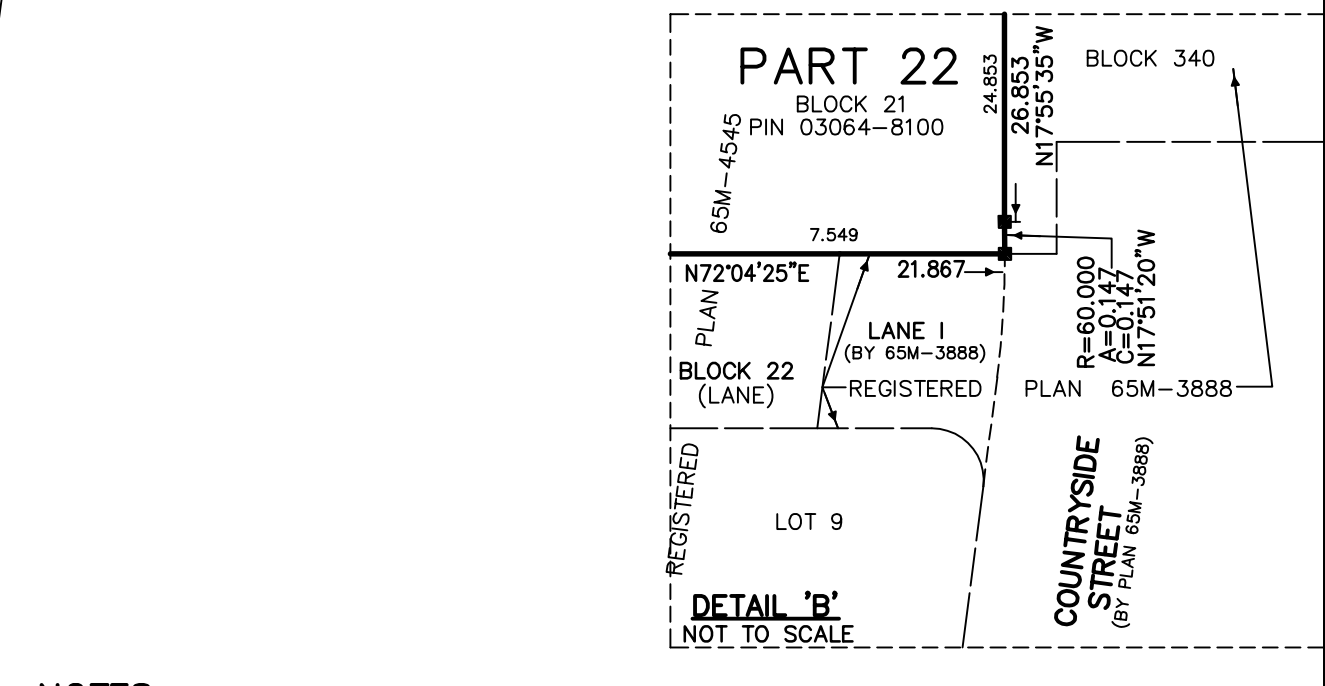
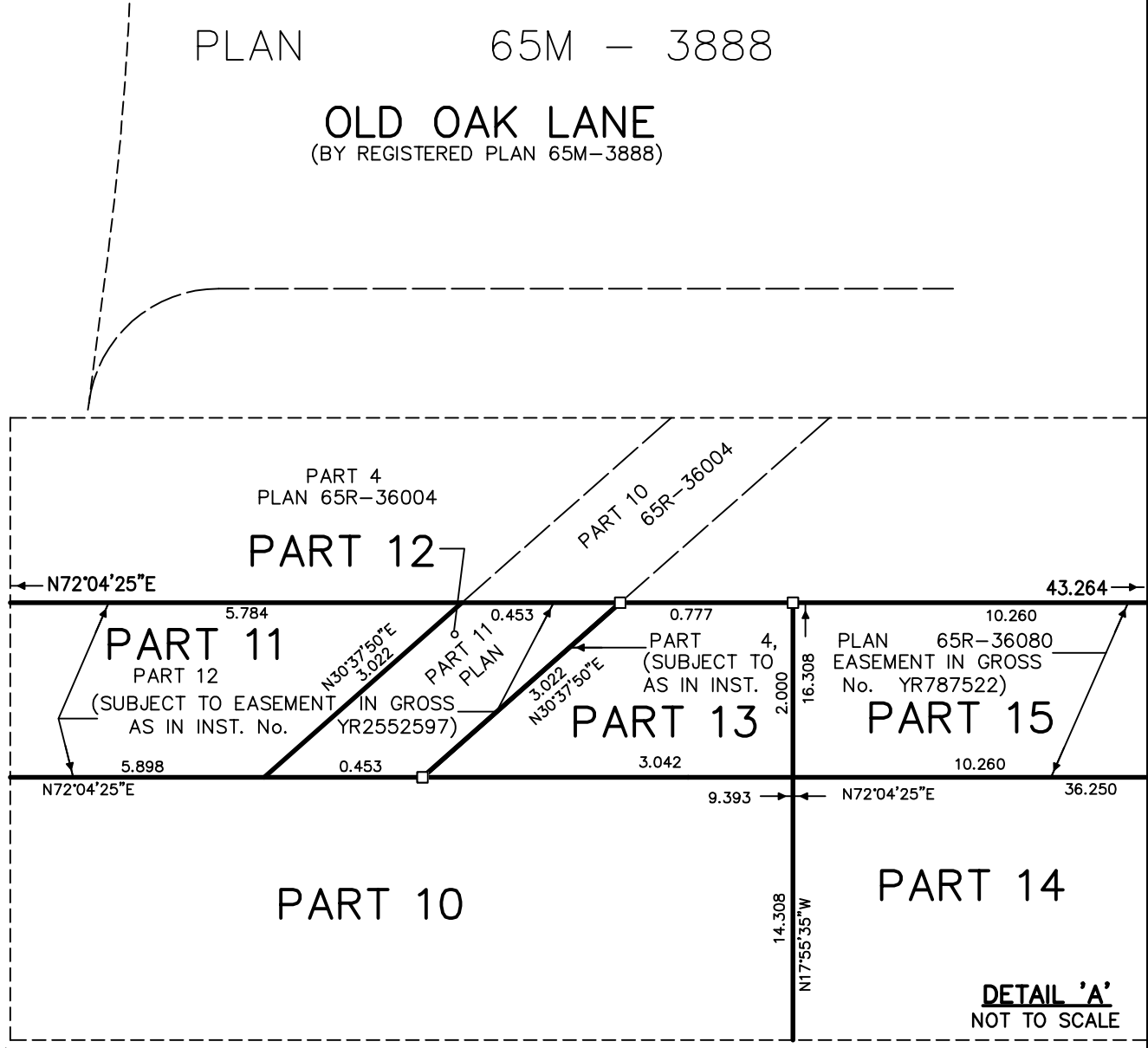
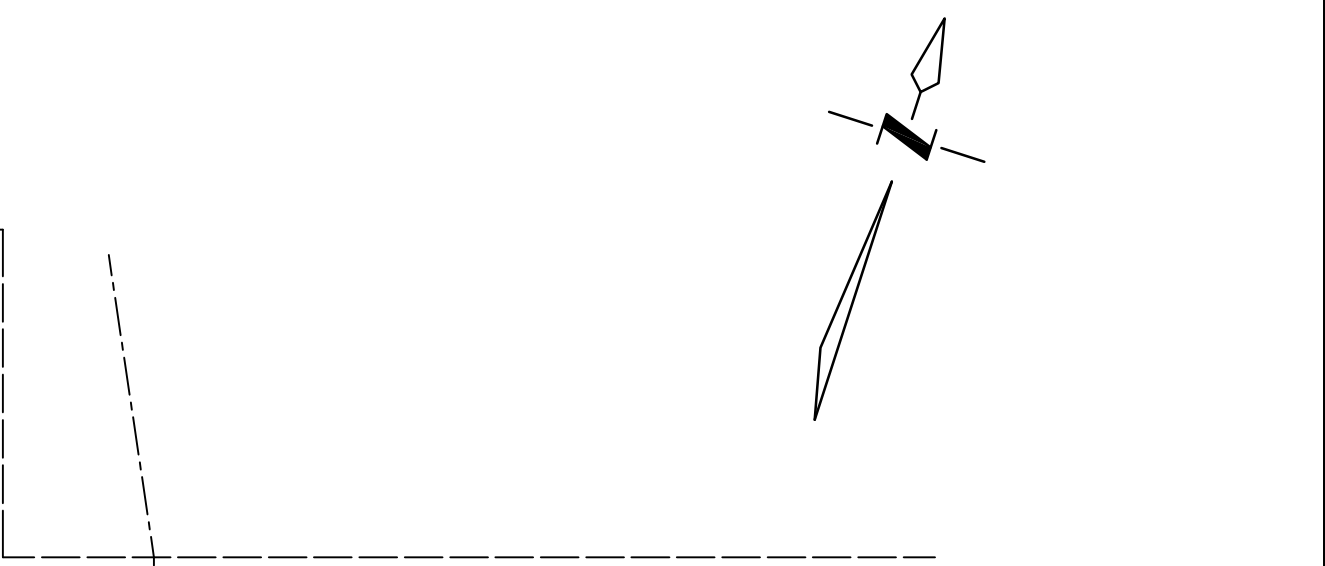
KNOWN AS 16th AVENUE – REGIONAL ROAD No. 73
ORIGINAL ROAD ALLOWANCE BETWEEN LOTS 15 AND 16, CONCESSION 9
PIN 03064-0031

File: 25.128151.000.00.MNN
Date: 9/19/2025
DATE: 2023
DATE: 9/19/2025
MM/DD/YYYY

CURVE TABLE			
NUM	ARC	RADIUS	BEARING
C1	3.124	13.000	N84°22'55"W
C2	2.881	13.000	N9°31'30"E
C3	2.839	13.000	N22°0'50"E
C4	2.850	13.000	N34°40'00"E
C5	2.867	13.000	N47°15'50"E
C6	4.196	13.000	N62°49'40"E

NO.	REGISTERED PLAN	PIN	AREA (m ²)
1			188.7
2			153.7
3			153.7
4			153.7
5			153.7
6			153.7
7			154.0
8			221.3
9			233.1
10			242.3
11			11.7
12			0.9
13			3.8
14			225.8
15			205.5
16			154.6
17			12.3
18			153.7
19			12.3
20			153.7
21			12.3
22			188.7
23			15.1
ALL OF 21	65M-4545	ALL OF 03064-8100	

PLAN OF SURVEY OF
BLOCK 21
REGISTERED PLAN 65M-4545
CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK
SCALE 1 : 150
SCHAEFFER DZALDOV PURCELL LTD.



NOTES
 □ DENOTES PLANTED MONUMENT
 ● FOUND MONUMENT
 SSIB - SHORT STANDARD IRON BAR
 IB - IRON BAR
 P - REGISTERED PLAN 65M-4545
 922 - SCHAEFFER DZALDOV PURCELL LTD.

ALL PLANTED MONUMENTS ARE IB'S UNLESS NOTED OTHERWISE.
 ALL FOUND MONUMENTS ARE SSIB'S UNLESS NOTED OTHERWISE.
 ALL FOUND MONUMENTS ARE NUMBERED 922.

UTM GRID BEARINGS CAN BE DERIVED FROM SPECIFIED CONTROL POINTS 092103051 AND 092103053, UTM ZONE 17, NAD83 (ORIGINAL) BY APPLYING A COUNTER-CLOCKWISE ROTATION OF 1°02'28" TO THE BEARINGS SHOWN ON THIS PLAN.

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999820.

SPECIFIED CONTROL POINTS (SCPs): UTM ZONE 17, NAD83 (ORIGINAL) COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O. REG. 216/10		
POINT ID.	NORTHING	EASTING
SCP 092103051	486095.552	643057.782
SCP 092103053	4861327.760	642933.166

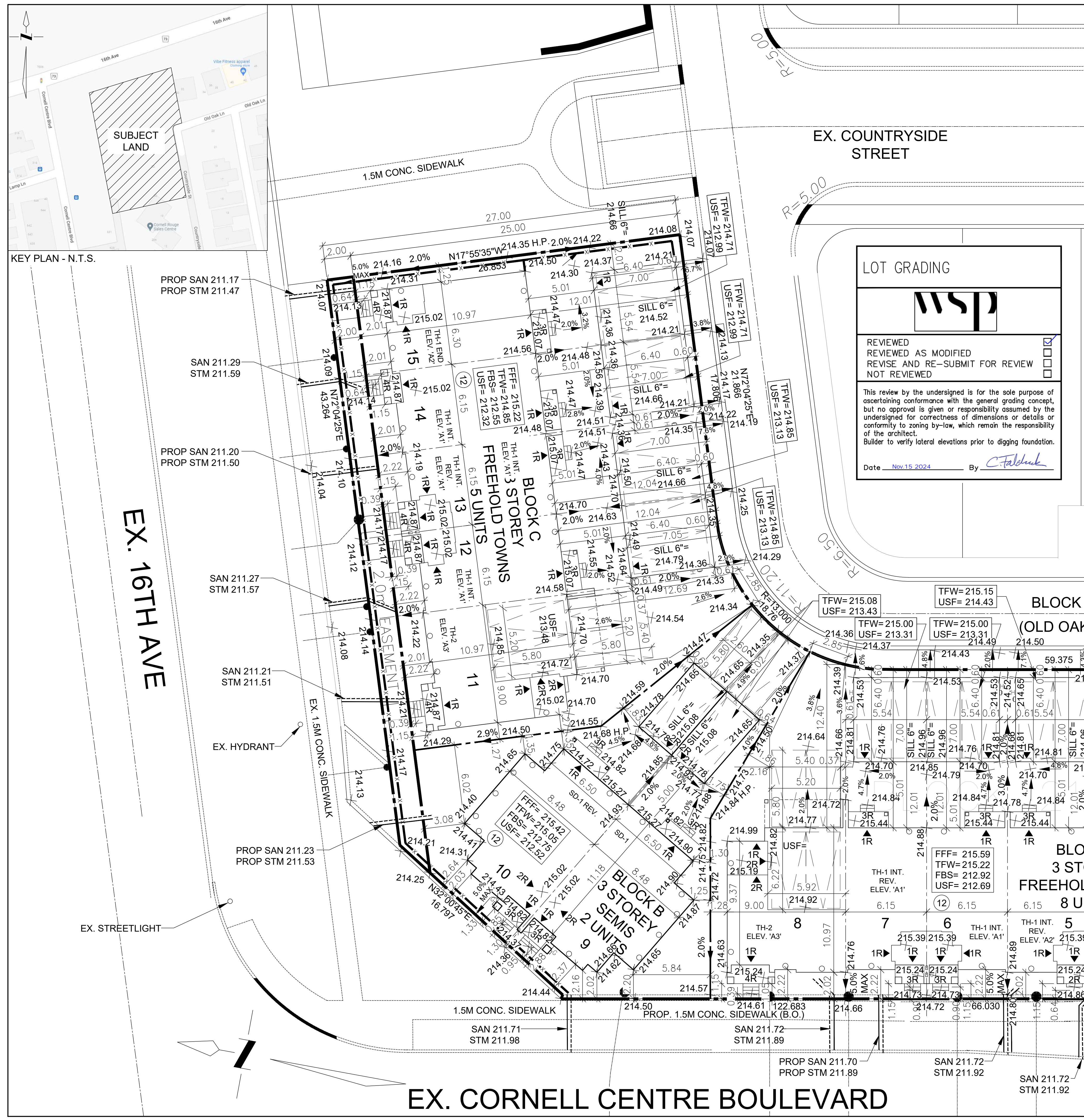
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE DAY OF 2023.

DATE: DAN DZALDOV
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER _____

SCHAEFFER DZALDOV PURCELL LTD.
 ONTARIO LAND SURVEYORS
 64 JARDIN DRIVE CONCORD, ONTARIO L4K 3P3 TEL: (416) 987-0101
 CALC. SL DRAWN ACAD/LW CHECKED SCALE 1:150 JOB NO. 02-608-21
 PLOT SIZE: 30X36 FEBRUARY 8, 2023



(2021-44) FOREST HILL HOMES - CORNELL TOWNS, 3 STOREY TOWNHOUSE & SEMI-DETACHED DEVELOPMENT
 CITY OF MARKHAM, ONTARIO
 ZONING STANDARDS MATRIX (AS PER BY-LAW NO. 177-96) RESIDENTIAL TWO (R2) ZONE

Appendix B

File: [REDACTED]

Date: **9/19/2025**
MM/DD/YYYY

LOT AREA

	SM	Ha	Ac
2.0M EASEMENT	88.91	0.01	0.02
BLOCK 359 - 0.3M RESERVE	19.79	0.00	0.00
REMAINING LOT AREA	2,664.62	0.27	0.66
TOTAL LOT AREA	2,773.32	0.28	0.69

LOT DIVISION

	SM	%
LANDSCAPED AREA	1,051.72	37.9%
PAVED AREA	195.00	7.0%
BUILDING COVERAGE	1,526.59	55.0%
TOTAL	2,773.32	100.0%

TOTAL BUILDING STATISTICS

	SM	M	#
TOTAL GROSS FLOOR AREA	3,234.63	-	-
TOTAL COVERAGE	1,526.59	-	-
MAXIMUM BUILDING HEIGHT	-	12.00	-
TOTAL RESIDENTIAL UNITS	-	-	15
FLOOR SPACE INDEX	-	-	1.2

BUILDING STATISTICS BREAKDOWN

BUILDING	TOTAL GFA		COVERAGE		# OF UNITS	4-BED UNITS	5-BED UNITS	5-BED + D UNITS	STOREYS (ABOVE GR)
	SM	SF	SM	SF					
BLOCK 1	1,628.27	17,526.54	805.78	8,673.34	8	7	0	1	3
BLOCK 2	530.42	5,709.42	218.95	2,356.78	2	0	0	2	3
BLOCK 3	1,075.94	11,581.31	501.86	5,402.00	5	4	0	1	3
TOTAL	3,234.63	34,817.27	1,526.59	16,432.12	15	11	0	4	

VEHICLE PARKING PROVIDED

	RATIO	# OF UNITS	NO. OF SPACES
RESIDENTIAL	2.00 Unit	15	30
TOTAL PARKING			30

LOT GRADING

wsp

REVIEWED
 REVIEWED AS MODIFIED
 REVISE AND RE-SUBMIT FOR REVIEW
 NOT REVIEWED

This review by the undersigned is for the sole purpose of ascertaining conformance with the general grading concept, but no approval is given or responsibility assumed by the undersigned for correctness of dimensions or details or conformity to zoning by-law, which remain the responsibility of the architect.
 Builder to verify lateral elevations prior to digging foundation.

Date: Nov 15 2024 By: C. Falchuk

- NOTES:**
- DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD.
 - BASE CURB ELEVATION TO BE CHECKED VS GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
 - FOR DETAILS OF THE PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS.
 - FOOTINGS TO BEAR ON GEOTECHNICALLY APPROVED SUBGRADE AND BE A MINIMUM OF 1.2M BELOW FINISHED GRADE.
 - BUILDER TO CONFIRM SERVICE CONNECTION INVERTS PRIOR TO CONSTRUCTION.
 - BUILDER TO ENSURE WATER BOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES.

No.	DESCRIPTION	DATE	BY
16	ISSUED FOR SPA	2024-11-15	SA
15	ISSUED FOR COORDINATION	2024-10-07	SA
14	ISSUED TO CLIENT	2024-03-07	SA
13	ISSUED TO CLIENT	2023-11-07	SA
12	ISSUED TO CLIENT	2022-10-26	SA
11	ISSUED TO CLIENT	2022-10-07	SA
10	ISSUED TO CLIENT	2022-09-20	SA
9	ISSUED FOR SPA	2022-08-04	SA
8	ISSUED TO CLIENT	2022-07-12	SA
7	ISSUED TO CLIENT	2022-04-12	SA
6	ISSUED TO CLIENT	2022-04-01	SA
5	ISSUED TO CLIENT	2022-03-31	SA
4	ISSUED TO CLIENT	2021-12-14	SA
3	ISSUED TO CLIENT	2021-12-13	SA
2	ISSUED TO CLIENT	2021-12-06	SA
1	ISSUED TO CLIENT	2021-09-21	SA

No. DESCRIPTION: YYYY-MM-DD BY

DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD.

BASE CURB ELEVATION TO BE CHECKED VS GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.

FOR DETAILS OF PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS.

BUILDER TO ENSURE WATER BOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES.

BUILDER TO CONFIRM SERVICE CONNECTION INVERTS PRIOR TO CONSTRUCTION.

FOOTINGS TO BEAR ON GEOTECHNICALLY APPROVED SUBGRADE AND BE A MINIMUM OF 1.2M BELOW FINISHED GRADE.

THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, AND ALL OTHER ENGINEERING INFORMATION, AND INTERIOR DESIGN AND LANDSCAPE CONSTRUCTION MUST CONFORM TO ALL APPLICABLE LAWS, CODES AND REQUIREMENTS. ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING AND SPECIFICATIONS IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

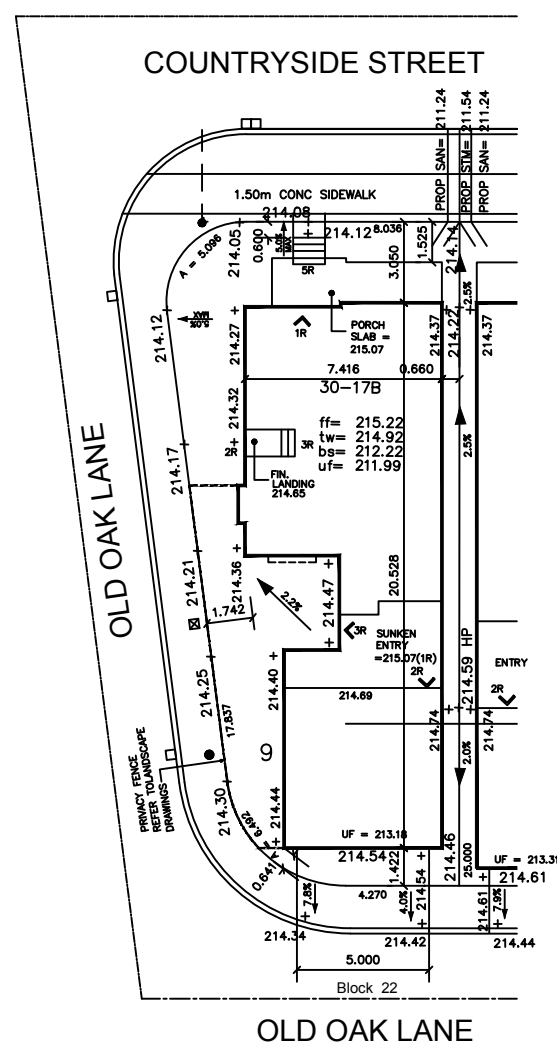
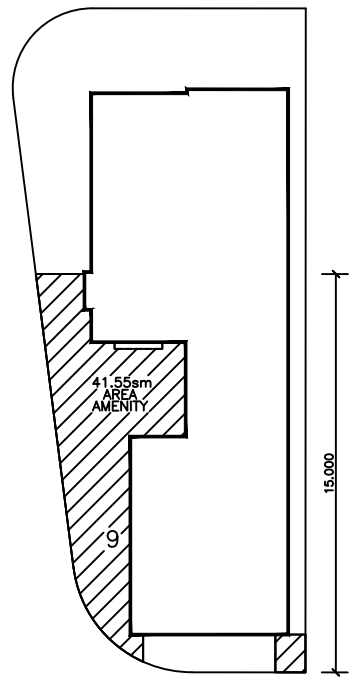
Cassidy + Company <small>Residential Design Consultants</small>	60 RANDALL DRIVE, SUITE 11, AJAX, ONTARIO L1S 6L3 T:905-619-1270 F:905-619-1269
Client: FOREST HILL HOMES LTD.	
Project Name: CORNELL TOWNS 3 STOREY TOWNHOUSE & SEMI-DETACHED DEVELOPMENT CITY OF MARKHAM	
Sheet Title: SITE PLAN	
Drawn by: ASP	Checked by: SA
Scale: 1 : 150	Date: AUG. 2022
Project No: 2021-44	Drawing No: A1.0

Appendix B

File: _____
 Date: **9/19/2025**
 MM/DD/YYYY

- NOTES:**
1. DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
 2. ALL DOWNSPOUTS TO BE AT REAR OF UNIT.
 3. BASE CURB ELEVATION TO BE CHECKED VS. GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
 4. FOR DETAILS OF THE PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS.
 5. BUILDER TO ENSURE WATER BOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES
 6. OLD OAK LANE IS NOT CONSTRUCTED YET. THIS PLAN TO BE REVIEWED VS. AS-BUILT DRAWINGS PRIOR TO BUILDING CONSTRUCTION.
 7. FOOTINGS TO BEAR ON GEOTECHNICALLY APPROVED SUB-GRADE AND BE A MINIMUM 1.22m BELOW FINISHED GRADE.
 8. *STM AND SAN INVERTS SHOWN ARE PROPOSED, NOT AS-BUILT. BUILDER TO CONFIRM INVERT ELEVATIONS PRIOR TO DIGGING FOUNDATION

NOTE:
 THIS LOT DOES NOT CONTAIN AN ACCESSORY DWELLING UNIT

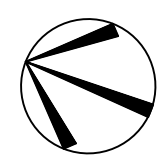


LEGEND

GM →	GAS METER
FFE	FINISHED FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TBS	TOP OF BASEMENT SLAB
USF	UNDERSIDE FOOTING
USFR(REAR)	UNDERSIDE FOOTING REAR
USFG	UNDERSIDE FOOTING GARAGE
TEF	TOP OF ENGINEERED FILL
R	NUMBER OF RISERS
WOD	WALKOUT DECK
LOB	LOOK OUT BASEMENT
WOB	WALKOUT BASEMENT
REV	REV PLAN
STD	STANDARD PLAN
D	DOOR LOCATION
⊗	BELL VAULT
⊙	CALBE TV
⊠	CATCH BASIN
⊡	DOUBLE CATCH BASIN
⊕	ENGINEERED FILL
⊖	HYDRANT
⊗	STREET LIGHT
⊙	WATER VALVE
⊠	MAIL BOX
⊡	TRANSFORMER
⊕	WATER CONNECTION
⊖	STORM + SAN. CONNECTION (2 LOTS)
⊕	STORM + SAN. CONNECTION (1 LOT)
⊠	A/C CONDENSER
⊖	ROOF DOWNSPOUT TO SPLASH PAD
→	SWALE DIRECTION
⊗	CHAIN LINK FENCE
⊠	PRIVACY FENCE
⊡	SOUND BARRIER
⊕	FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE
	MAX 3:1 SLOPE

NOTE:
 BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENCE

DRAWN BY: JP	DATE: FEB 2023
SCALE: 1 : 250	LOT NUMBER: LOT 9



JAMES PIGGOTT
 Residential Design Consultant
 3A King Street South, Suite 4
 Cookstown Ont. L0L 1L0
 (705) 458 8433

LOT GRADING

wsp

REVIEWED
 REVIEWED AS MODIFIED
 REVISE AND RE-SUBMIT FOR REVIEW
 NOT REVIEWED

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 Builder to verify lateral elevations prior to digging foundation.

Date **MAR. 8, 2023** By *Patric Blady*

CLIENT
 FOREST HILL HOMES

PROJECT/LOCATION
 CORNELL – PHASE 7

MARKHAM, ONTARIO

DRAWING
 SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No	65M-4545
ZONE	R2 * 190 * 192
LOT NUMBER	9
No. OF STOREYS	2
MEAN HEIGHT (m)	8.23 M

REVISIONS

NO	DATE	DESCRIPTION
1	27/2/2023	GRADES REVISED AS PER WSP COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 32.5.1 OF DIVISION C OF THE ONTARIO BUILDING CODE TO BE A DESIGNER.

JAMES PIGGOTT 25146
 NAME SIGNATURE

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 32.2.1 OF DIVISION C OF THE ONTARIO BUILDING CODE TO BE A DESIGNER.

JAMES PIGGOTT 34700
 FIRM NAME

Appendix B

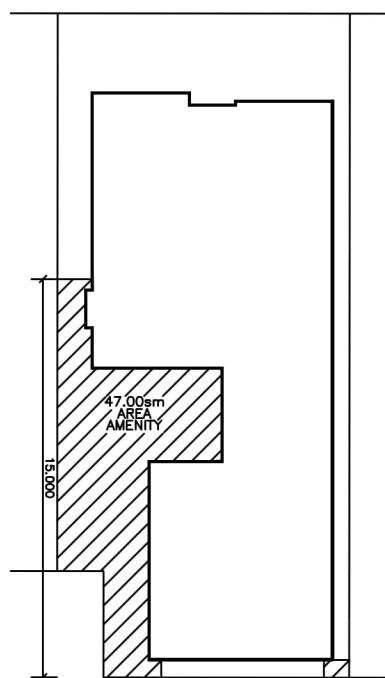
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Date: **9/19/2025**
MM/DD/YYYY

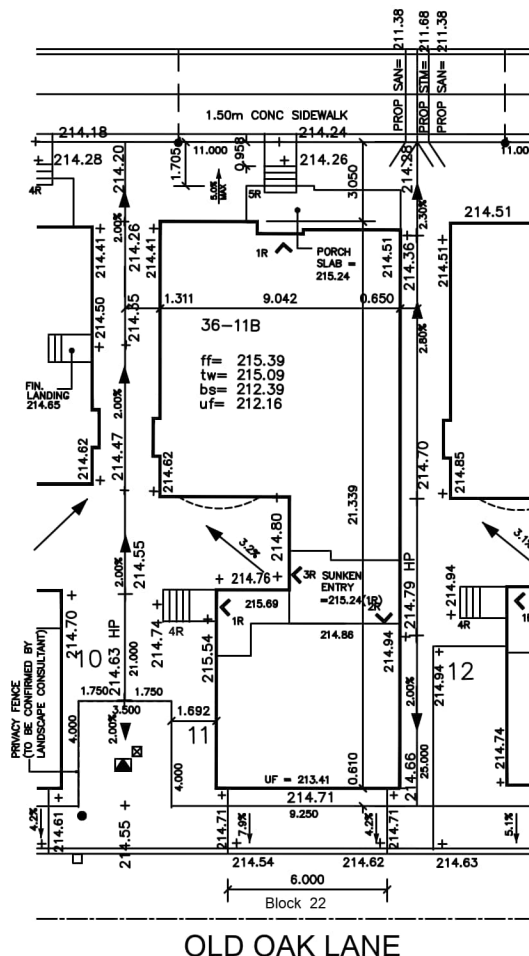
NOTES:

1. DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
2. ALL DOWNSPOUTS TO BE AT REAR OF UNIT.
3. BASE CURB ELEVATION TO BE CHECKED VS. GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
4. FOR DETAILS OF THE PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS.
5. BUILDER TO ENSURE WATER BOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES
6. OLD OAK LANE IS NOT CONSTRUCTED YET. THIS PLAN TO BE REVIEWED VS. AS-BUILT DRAWINGS PRIOR TO BUILDING CONSTRUCTION.
7. FOOTINGS TO BEAR ON GEOTECHNICALLY APPROVED SUB-GRADE AND BE A MINIMUM 1.22m BELOW FINISHED GRADE.
8. *STM AND SAN INVERTS SHOWN ARE PROPOSED, NOT AS-BUILT. BUILDER TO CONFIRM INVERT ELEVATIONS PRIOR TO DIGGING FOUNDATION

NOTE:
THIS LOT CONTAINS AN ACCESSORY DWELLING UNIT



COUNTRYSIDE STREET



R.F. Merrill
2218045 Ontario Limited
Design Control Review

I, Richard F. Merrill, certify that the Plans/ Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed by: *R.F. Merrill*

Date: February 19, 2025

Reviewed for: Final Review

LOT GRADING



- REVIEWED
- REVIEWED AS MODIFIED
- REVISE AND RE-SUBMIT FOR REVIEW
- NOT REVIEWED

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Date **MAR. 8, 2023** By *Patricia Blady*

CLIENT
FOREST HILL HOMES

PROJECT/LOCATION
CORNELL – PHASE 9

MARKHAM, ONTARIO

DRAWING
SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No	65M-4545
ZONE	R2 * 190 * 192
LOT NUMBER	11
No. OF STOREYS	2
MEAN HEIGHT (m)	7.96 M

LEGEND

- GM → GAS METER
- FFE FINISHED FLOOR ELEVATION
- TFW TOP OF FOUNDATION WALL
- TBS TOP OF BASEMENT SLAB
- USF UNDERSIDE FOOTING
- USFR(REAR) UNDERSIDE FOOTING REAR
- USFG UNDERSIDE FOOTING GARAGE
- TEF TOP OF ENGINEERED FILL
- R NUMBER OF RISERS
- WOD WALKOUT DECK
- LOB LOOK OUT BASEMENT
- WOB WALKOUT BASEMENT
- REV REV PLAN
- STD STANDARD PLAN
- D DOOR LOCATION
- B BELL VAULT
- TV CALBE TV
- CB CATCH BASIN
- DCB DOUBLE CATCH BASIN
- EF ENGINEERED FILL
- H HYDRANT
- SL STREET LIGHT
- WV WATER VALVE
- M MAIL BOX
- T TRANSFORMER
- WC WATER CONNECTION
- SS+ SAN CONNECTION (2 LOTS)
- SS- SAN CONNECTION (1 LOT)
- AC A/C CONDENSER
- DS ROOF DOWNSPOUT TO SPLASH PAD
- S SWALE DIRECTION
- CL CHAIN LINK FENCE
- PF PRIVACY FENCE
- SB SOUND BARRIER
- FE FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE
- MAX 3:1 SLOPE

NOTE:
BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENCE

DRAWN BY:	DATE:
JP	FEB 2023
SCALE:	LOT NUMBER:
1 : 250	LOT 11



JAMES PIGGOTT
Residential Design Consultant

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Cookstown Ont. L0L 1L0
(705) 458 8433

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REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5. OF DIVISION C OF THE ONTARIO BUILDING CODE TO BE A DESIGNER.

JAMES PIGGOTT NAME SIGNATURE 25146

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5. OF DIVISION C OF THE ONTARIO BUILDING CODE TO BE A DESIGNER.

JAMES PIGGOTT FIRM NAME 34700

REVISIONS

NO	DATE	DESCRIPTION
1	27/2/2023	GRADES REVISED AS PER WSP COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-

Appendix B

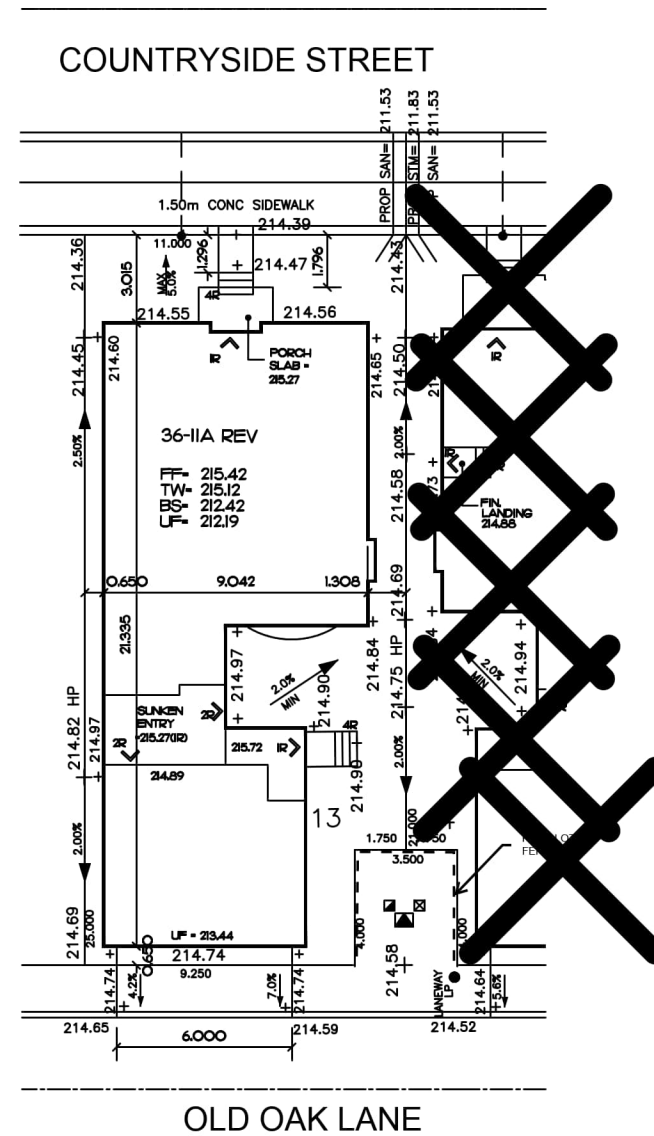
File: _____
 Date: **9/19/2025**
 MM/DD/YYYY

- NOTES:**
1. DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
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 8. *STM AND SAN INVERTS SHOWN ARE PROPOSED, NOT AS-BUILT. BUILDER TO CONFIRM INVERT ELEVATIONS PRIOR TO DIGGING FOUNDATION*

R.F. Merrill
 2218045 Ontario Limited
 Design Control Review

I, Richard F. Merrill, certify that the Plans/ Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed by: *R.F. Merrill*
 Date: October 5, 2021
 Reviewed for: Final Review

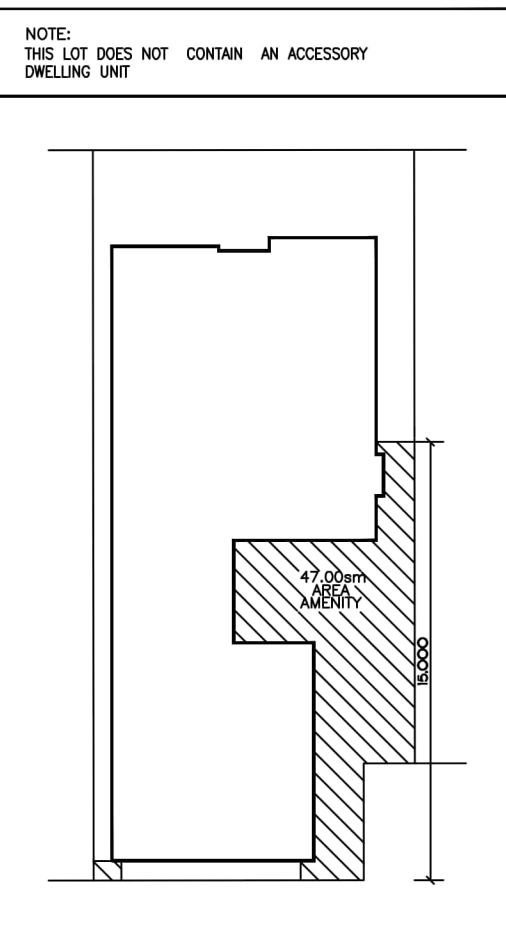


LOT GRADING

REVIEWED
 REVIEWED AS MODIFIED
 REVISE AND RE-SUBMIT FOR REVIEW
 NOT REVIEWED

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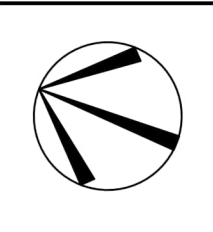
Date OCT. 1, 2021 By *Patrol Blady*



- LEGEND**
- GM → GAS METER
 - FFE FINISHED FLOOR ELEVATION
 - TFW TOP OF FOUNDATION WALL
 - TBS TOP OF BASEMENT SLAB
 - USF UNDERSIDE FOOTING
 - USFR(REAR) UNDERSIDE FOOTING REAR
 - USFG UNDERSIDE FOOTING GARAGE
 - TEF TOP OF ENGINEERED FILL
 - R NUMBER OF RISERS
 - WOD WALKOUT DECK
 - LOB LOOK OUT BASEMENT
 - WOB WALKOUT BASEMENT
 - REV REV PLAN
 - STD STANDARD PLAN
 - ▽ DOOR LOCATION
 - BELL VAULT
 - CALBE TV
 - CATCH BASIN
 - DOUBLE CATCH BASIN
 - ENGINEERED FILL
 - HYDRANT
 - STREET LIGHT
 - WATER VALVE
 - MAIL BOX
 - TRANSFORMER
 - WATER CONNECTION
 - △ STORM + SAN. CONNECTION (2 LOTS)
 - △ STORM + SAN. CONNECTION (1 LOT)
 - A/C CONDENSER
 - ROOF DOWNSPOUT TO SPLASH PAD
 - SWALE DIRECTION
 - x- CHAIN LINK FENCE
 - xx- PRIVACY FENCE
 - xxx- SOUND BARRIER
 - xxx- FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE
 - ||||| MAX 3:1 SLOPE

NOTE:
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DRAWN BY: JP DATE: AUGUST 2021
 SCALE: 1 : 250 LOT NUMBER: LOT 13



JAMES PIGGOTT
 Residential Design Consultant

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 Cookstown Ont. L0L 1L0
 (705) 458 8433

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JAMES PIGGOTT 25146
 NAME SIGNATURE

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4. OF DIVISION C OF THE ONTARIO BUILDING CODE TO BE A DESIGNER.

JAMES PIGGOTT 34700
 NAME FRM NAME

CLIENT
 FOREST HILL HOMES

PROJECT/LOCATION
 CORNELL – PHASE 9
 MARKHAM, ONTARIO

DRAWING
 SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No	65M-4545
ZONE	R2 * 190 * 192
LOT NUMBER	13
No. OF STOREYS	2
MEAN HEIGHT (m)	8.03 M

REVISIONS

NO	DATE	DESCRIPTION
1	20/9/2021	GRADES REVISED AS PER WSP COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-


Appendix B

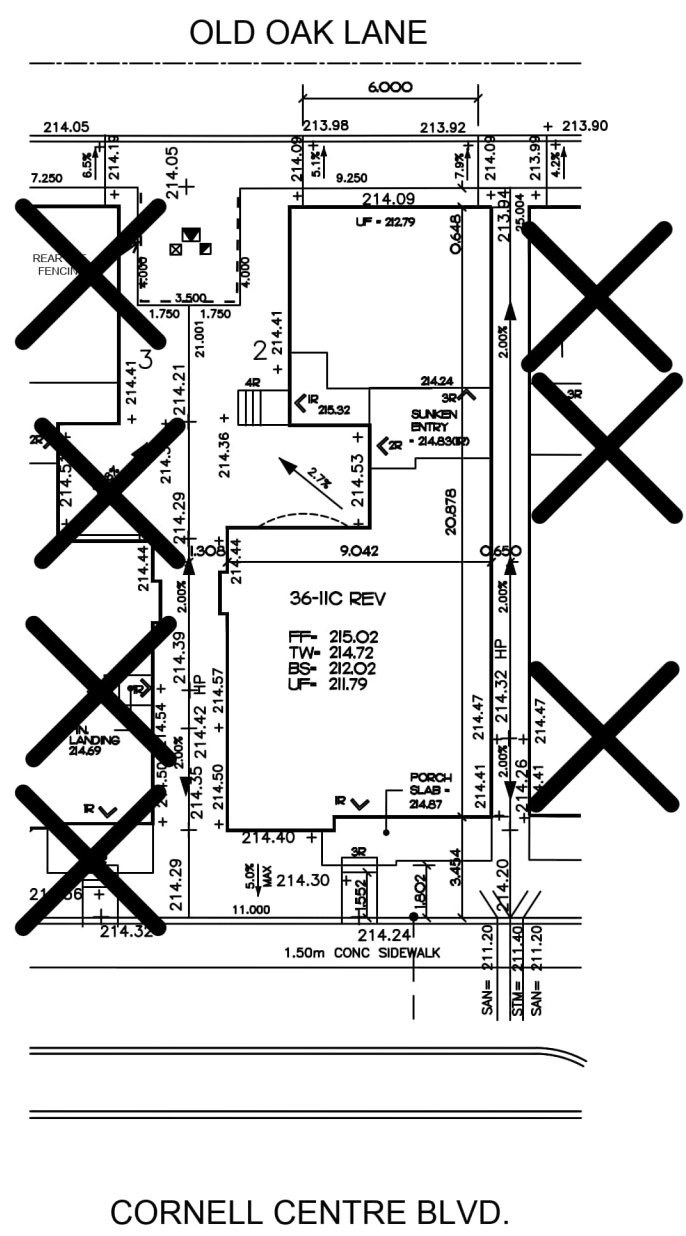
File: _____
 Date: **9/19/2025**
 MM/DD/YYYY

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R.F. Merrill
 2218045 Ontario Limited
 Design Control Review

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Reviewed by: 
 Date: October 5, 2021
 Reviewed for: Final Review



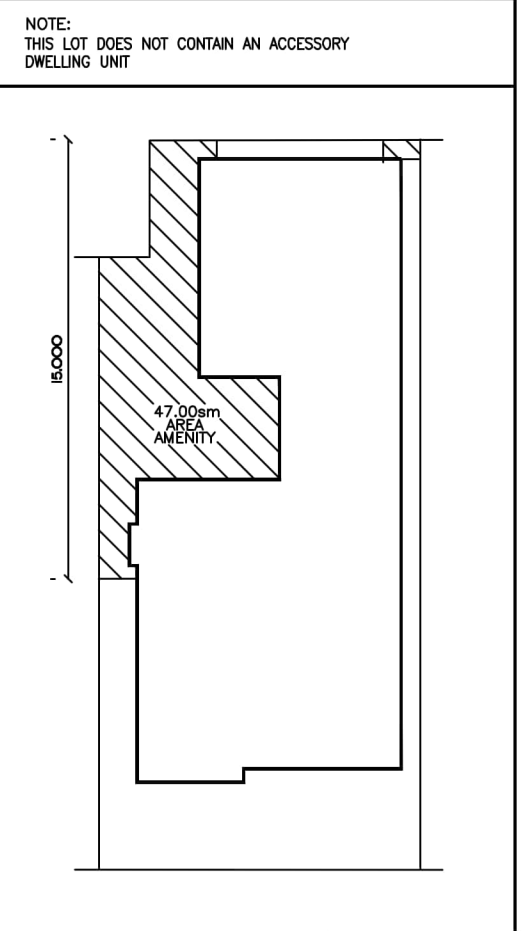
LOT GRADING



REVIEWED
 REVIEWED AS MODIFIED
 REVISE AND RE-SUBMIT FOR REVIEW
 NOT REVIEWED

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 Builder to verify lateral elevations prior to digging foundation.

Date OCT. 1, 2021 By Patricia Blashy



CLIENT
 FOREST HILL HOMES

PROJECT/LOCATION
 CORNELL – PHASE 9

MARKHAM, ONTARIO

DRAWING
 SITE GRADING PLAN

BUILDING STATISTICS

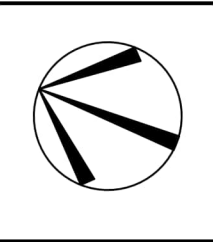
REG. PLAN No	65M-4545
ZONE	R2 * 190 * 192
LOT NUMBER	2
No. OF STOREYS	2
MEAN HEIGHT (m)	7.77M

- LEGEND**
- GM → GAS METER
 - FFE FINISHED FLOOR ELEVATION
 - TFW TOP OF FOUNDATION WALL
 - TBS TOP OF BASEMENT SLAB
 - USF UNDERSIDE FOOTING
 - USFR(REAR) UNDERSIDE FOOTING REAR
 - USFG UNDERSIDE FOOTING GARAGE
 - TEF TOP OF ENGINEERED FILL
 - R NUMBER OF RISERS
 - WOD WALKOUT DECK
 - LOB LOOK OUT BASEMENT
 - WOB WALKOUT BASEMENT
 - REV REV PLAN
 - STD STANDARD PLAN
 - ▽ DOOR LOCATION
 - BELL VAULT
 - CALBE TV
 - CATCH BASIN
 - DOUBLE CATCH BASIN
 - ENGINEERED FILL
 - HYDRANT
 - STREET LIGHT
 - WATER VALVE
 - MAIL BOX
 - TRANSFORMER
 - WATER CONNECTION
 - STORM + SAN. CONNECTION (2 LOTS)
 - STORM + SAN. CONNECTION (1 LOT)
 - A/C CONDENSER
 - ROOF DOWNSPOUT TO SPLASH PAD
 - SWALE DIRECTION
 - CHAIN LINK FENCE
 - PRIVACY FENCE
 - SOUND BARRIER
 - FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE
 - MAX 3:1 SLOPE

NOTE:
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DRAWN BY: JP DATE: AUGUST 2021

SCALE: 1 : 250 LOT NUMBER: LOT 2



JAMES PIGGOTT
 Residential Design Consultant

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 Cookstown Ont. L0L 1L0
 (705) 458 8433

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JAMES PIGGOTT 25146
 NAME SIGNATURE

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4. OF DIVISION C OF THE ONTARIO BUILDING CODE TO BE A DESIGNER.

JAMES PIGGOTT 34700
 NAME FRM NAME

REVISIONS

NO	DATE	DESCRIPTION
1	20/9/2021	GRADES REVISED AS PER WSP COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-

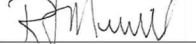
Appendix B

File: _____
 Date: **9/19/2025**
 MM/DD/YYYY


- NOTES:**
1. DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
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 8. BUILDER TO CONFIRM SERVICE CONNECTION INVERTS PRIOR TO CONSTRUCTION

R.F. Merrill
 2218045 Ontario Limited
 Design Control Review

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Reviewed by: 
 Date: October 5, 2021
 Reviewed for: Final Review

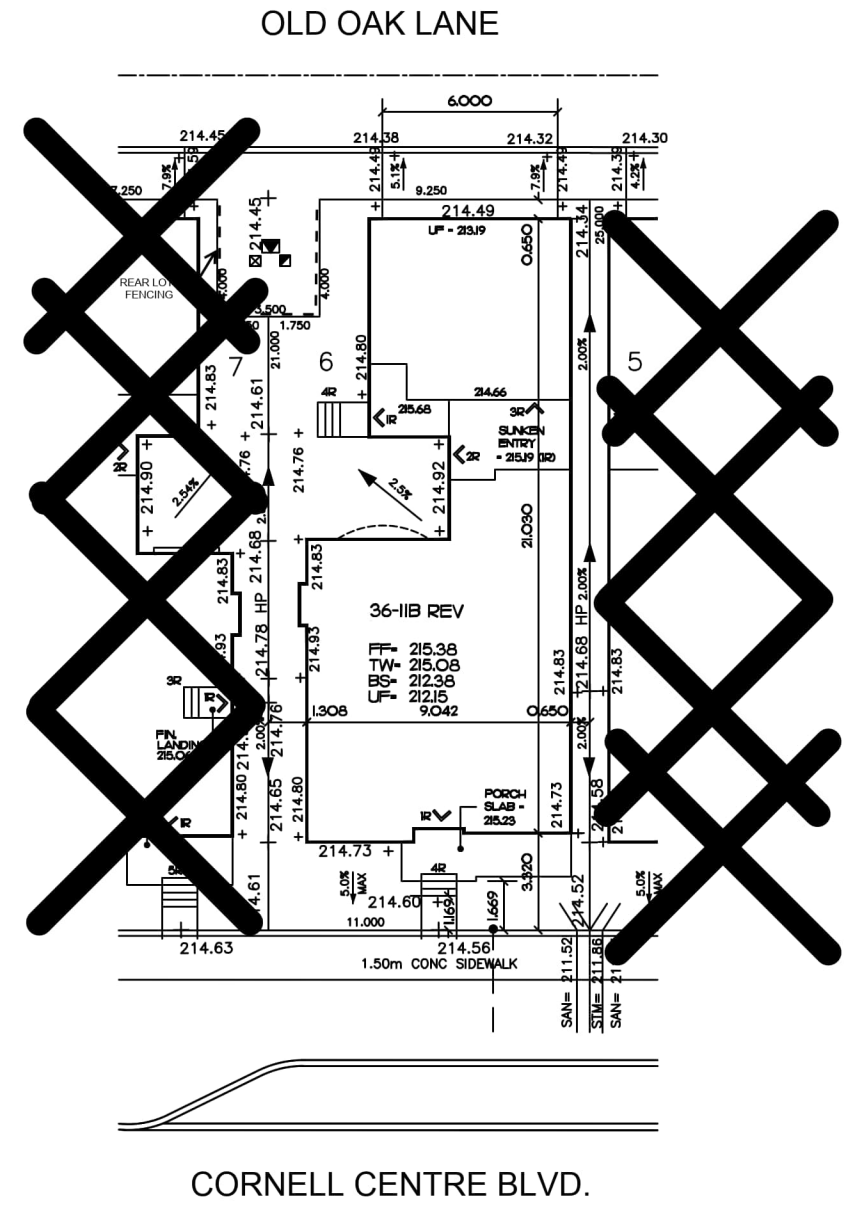
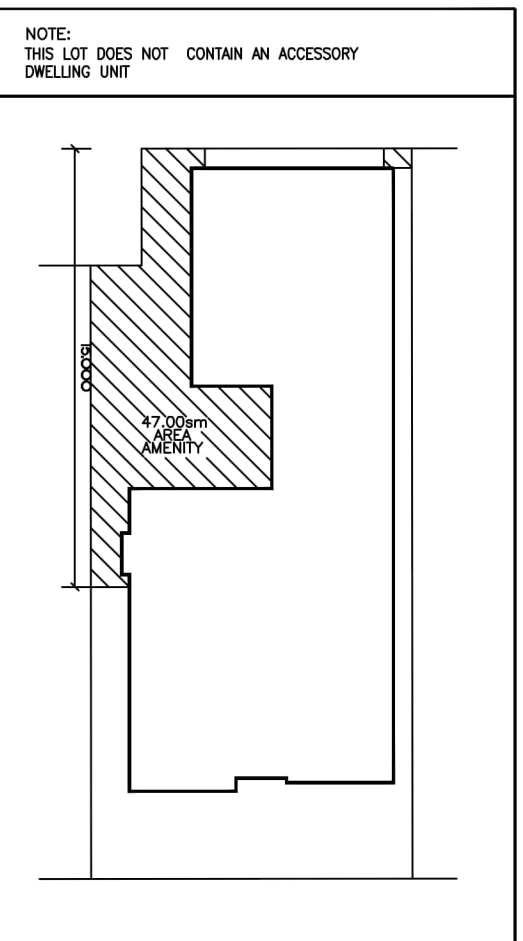
LOT GRADING



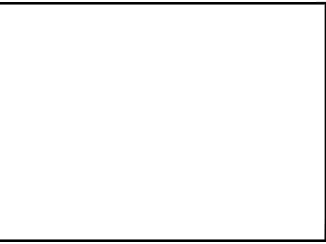
REVIEWED
 REVIEWED AS MODIFIED
 REVISE AND RE-SUBMIT FOR REVIEW
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 Builder to verify lateral elevations prior to digging foundation.

Date OCT. 1, 2021 By Patricia Blashy



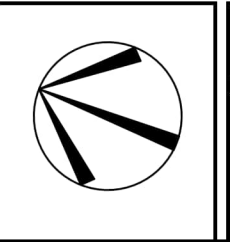
- LEGEND**
- GM → GAS METER
 - FFE FINISHED FLOOR ELEVATION
 - TFW TOP OF FOUNDATION WALL
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 - USFG UNDERSIDE FOOTING GARAGE
 - TEF TOP OF ENGINEERED FILL
 - R NUMBER OF RISERS
 - WOD WALKOUT DECK
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DRAWN BY: JP DATE: AUGUST 2021

SCALE: 1 : 250 LOT NUMBER: LOT 6



JAMES PIGGOTT
 Residential Design Consultant

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 Cookstown Ont. L0L 1L0
 (705) 458 8433

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JAMES PIGGOTT 25146
 NAME SIGNATURE

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JAMES PIGGOTT 34700
 FRM NAME

CLIENT
 FOREST HILL HOMES

PROJECT/LOCATION
 CORNELL — PHASE 9

MARKHAM, ONTARIO

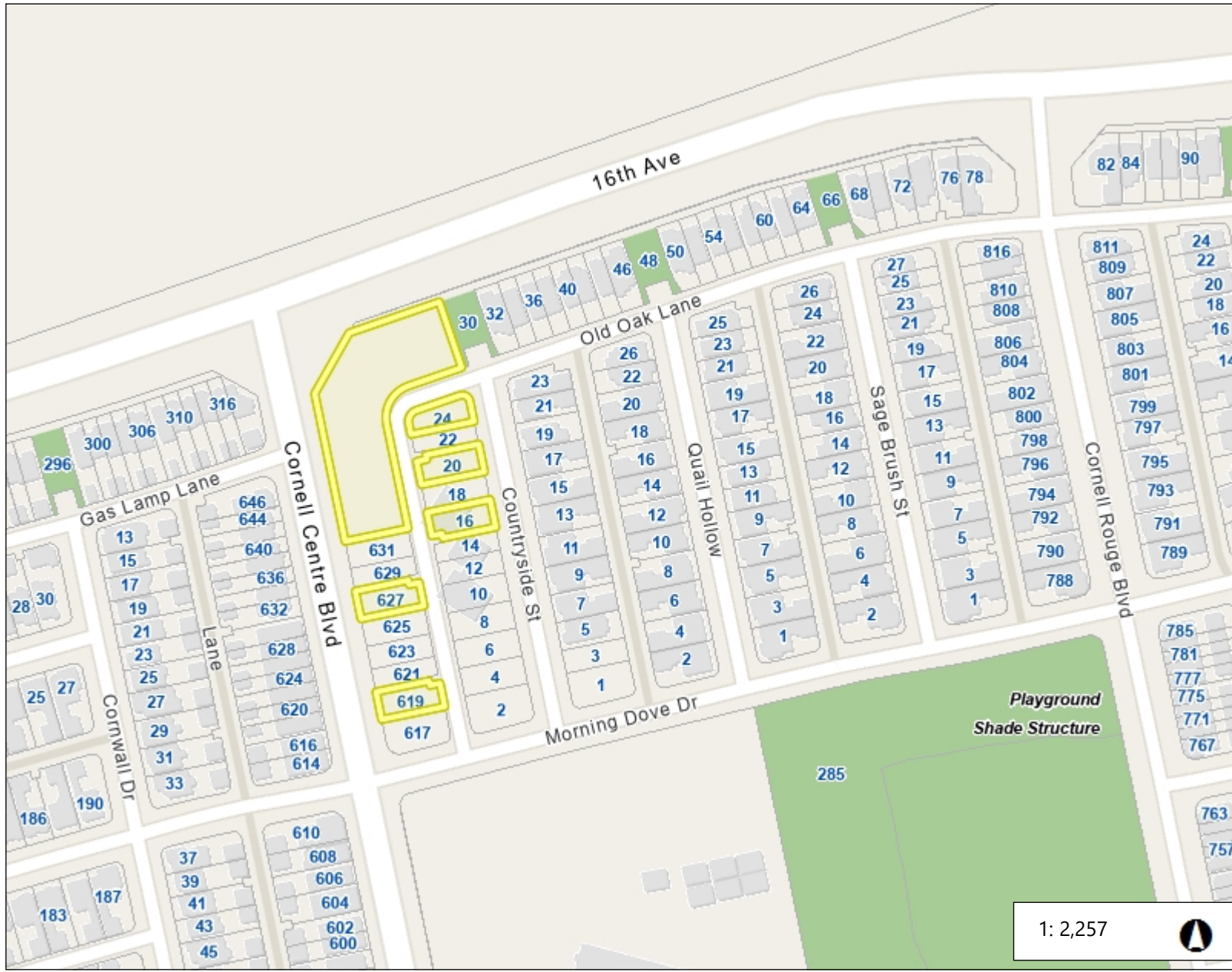
DRAWING
 SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No	65M-4545
ZONE	R2 * 190 * 192
LOT NUMBER	6
No. OF STOREYS	2
MEAN HEIGHT (m)	7.82M

REVISIONS

NO	DATE	DESCRIPTION
1	20/9/2021	GRADES REVISED AS PER WSP COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-



Legend

- Parcel
- Park Facility
- Parks**
- Under Development
- <all other values>

1: 2,257



DISCLAIMER: The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments. If you have questions or comments regarding the data displayed on this map, please email cgis@markham.ca and you will be directed to the appropriate department.

Notes